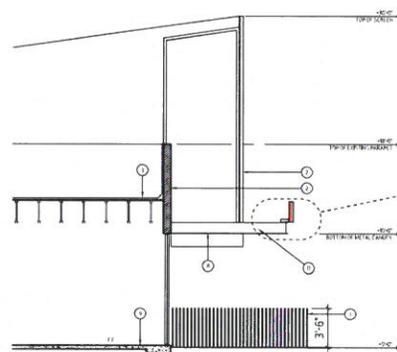


## West Elevation

MATERIAL SCHEDULE	MATERIAL	MANUFACTURER	PRODUCT # / COLOR FINISH
A	PAINTED EXISTING SLUMP BLOCK - TYP.	DUNN EDWARDS	DE 6307 (SILVER LAKE)
B	HOT ROLLED STEEL	CUSTOM	PERMALACK, BLACK
C	TEMP. GLASS IN ALUMINUM STOREFRONT DOOR & WINDOW - TYP.	WILSTEIN WINDOWS	BLACK
D	42" HIGH STEEL PATIO RAILING - TYP.	CUSTOM	RUSTED FINISH
E	STEEL CANOPY - TYP.	CUSTOM	PERMALACK, BLACK
F	CAST-IN-PLACE CONCRETE WALL	CUSTOM	NATURAL GRAY
G	22 GA. RUSTED METAL SCREEN	WESTERN STATES DECKING	RUSTED BARE STEEL
H	CMU BLOCK SCREEN WALL	SUPERLIGHT	NATURAL GRAY
I	LOWE TEMPERED GLASS IN STEEL FRAME	WESTERN	SOLARCOOL GRAY COATING
J	PAINTED STUCCO (SMOOTH FINISH) - TYP.	DUNN EDWARDS	DE 6374 (SILVER POLISH)
K	PAINTED METAL DOOR	DUNN EDWARDS	DE 6357 (BLACK TIE)
L	PAINTED STUCCO (SMOOTH FINISH)	DUNN EDWARDS	DE 6357 (BLACK TIE)

### ELEVATION KEYNOTES:

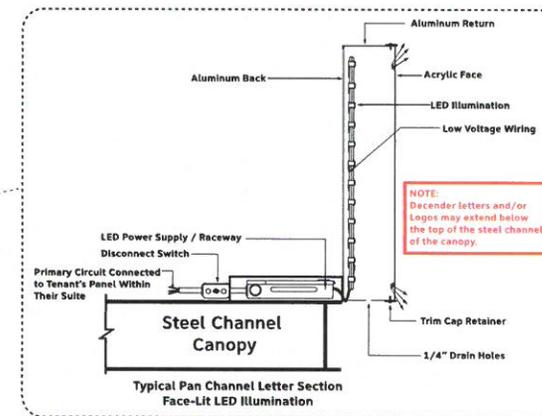
1. RAISED TAPERED STEEL PLANTER, TYP. NOT IN USE.
2. NOT IN USE.
3. 6" HIGH PATIO WALL.
4. METAL CANOPY - SEE STRUCTURAL.
5. BUTT-GLAZED GLASS WINDOW IN ALUMINUM STOREFRONT SYSTEM.
6. WALL MOUNTED LIGHT, TYP. - SEE ELEC.
7. INSULATED METAL DOOR.
8. RECESSED SES CABINET.
9. RECESSED LIGHTS IN SOFFIT ABOVE AT SUITE ENTRY, TYP. - SEE ELECTRICAL.
10. METAL SCREEN, TYP.
11. METAL AWNING & VERTICAL TRIM.



WALL SECTION @ WEST WALL  
NTS

### WALL SECTIONS KEYNOTES:

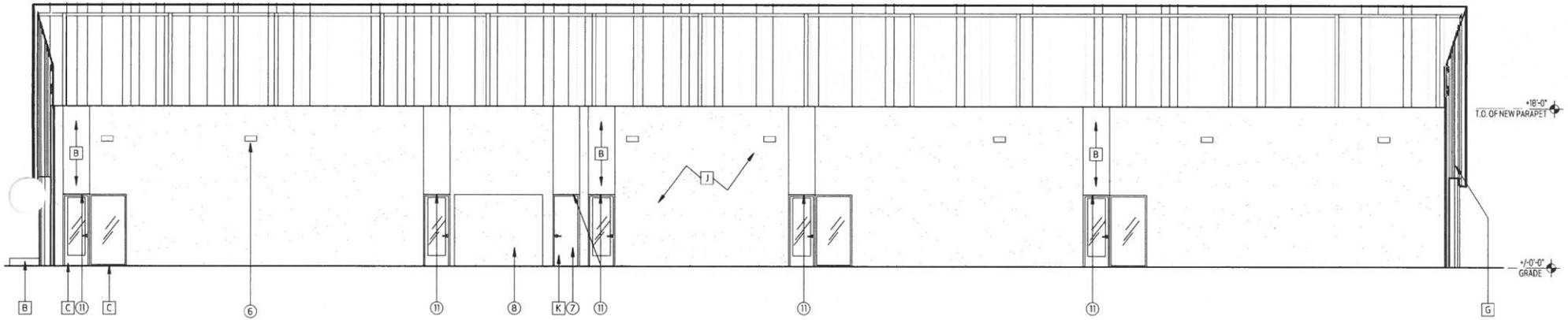
1. RUSTED STEEL GUARDRAIL - SEE 12/SP/02.
2. EXIST. BLOCK WALL, TYP.
3. TORCH-DOWN INSUR. OVER BASE - 1.85 BY OWNER.
4. BUTT-GLAZED GLASS IN ALUMINUM STOREFRONT SYSTEM.
5. METAL AWNING AND VERTICAL TRIM - SEE 7/ARCH.
6. NOT IN USE.
7. METAL SCREEN SYSTEM, TYP.
8. SOFFIT - SEE 2/02 FOR MORE INFO.
9. EXISTING SLUG AND FOOTING.
10. STEEL TRIM AWNING WINDOW - SEE 6/12/03 FOR DETAILS.
11. 12" DEEP METAL CANOPY - BLACKENED & SEALED.



LED Power Supply / Raceway  
Disconnect Switch  
Primary Circuit Connected to Tenant's Panel Within Their Suite  
**Steel Channel Canopy**  
Typical Pan Channel Letter Section Face-Lit LED Illumination

**bleier**  
INDUSTRIES

9650 West Roosevelt Street  
Tolleson, AZ 85353



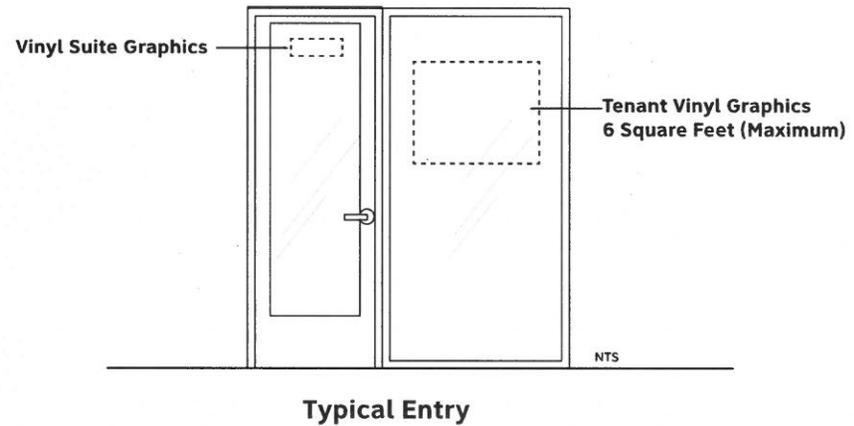
**East Elevation**

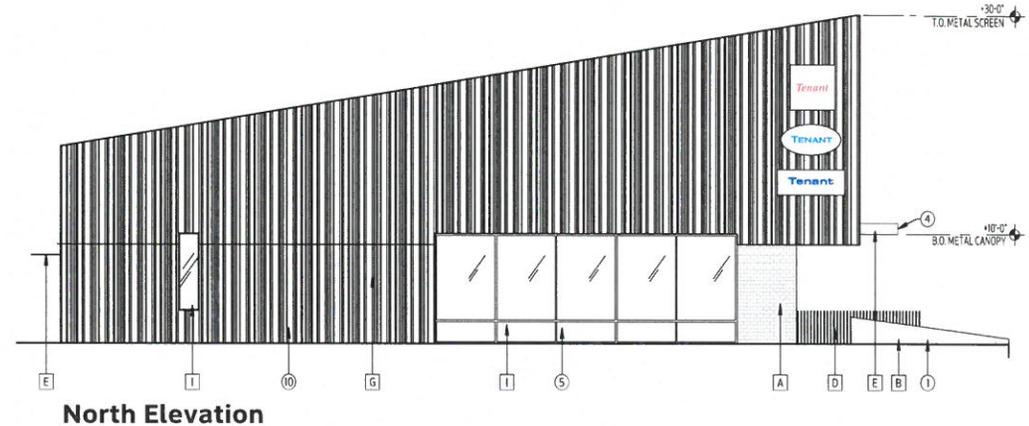
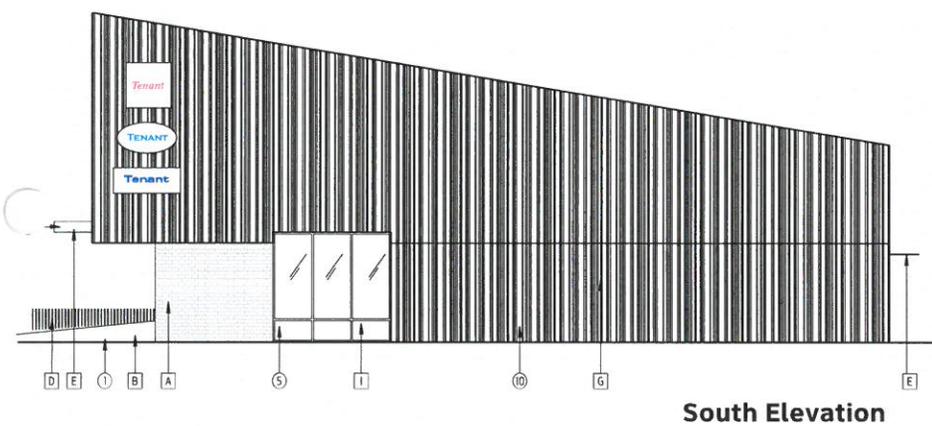
**MATERIAL SCHEDULE**

MATERIAL	MANUFACTURER	PRODUCT # / COLOR / FINISH
A PAINTED EXISTING SLUMP BLOCK - TYP.	DUNN EDWARDS	DE 6397 (SILVER LAKE)
B HOT ROLLED STEEL	CUSTOM	PERMALACK BLACK
C TEMP. GLASS IN ALUMINUM STOREFRONT DOOR & WINDOW - TYP.	WESTERN WINDOWS	BLACK
D 42" HIGH STEEL PATIO RAILING - TYP.	CUSTOM	RUSTED FINISH
E STEEL CANOPY - TYP.	CUSTOM	PERMALACK BLACK
F CAST-IN-PLACE CONCRETE WALL	CUSTOM	NATURAL GRAY
G 22 GA. RUSTED METAL SCREEN	WESTERN STATES DECKING	RUSTED BARE STEEL
H CHUJ BLOCK SCREEN WALL	SUPERLIGHT	NATURAL GRAY
I LOW-E TEMPERED GLASS IN STEEL FRAME	WESTERN	SOLARCOOL GRAY COATING
J PAINTED STUCCO (SMOOTH FINISH) - TYP.	DUNN EDWARDS	DE 6374 (SILVER POLISH)
K PAINTED METAL DOOR	DUNN EDWARDS	DE 6357 (BLACK TIE)
L PAINTED STUCCO (SMOOTH FINISH)	DUNN EDWARDS	DE 6357 (BLACK TIE)

**ELEVATION KEYNOTES:**

1. RAISED TAPERED STEEL PLANTER, TYP. NOT IN USE.
2. NOT IN USE.
3. 6" HIGH PATIO WALL - SEE I6&I7/SP201.
4. METAL CANOPY - SEE STRUCTURAL.
5. BUTT-GLAZED GLASS WINDOW IN ALUMINUM STOREFRONT SYSTEM.
6. WALL MOUNTED LIGHT, TYP. - SEE ELEC.
7. INSULATED METAL DOOR.
8. RECESSED SES CABINET.
9. RECESSED LIGHTS IN SOFFIT ABOVE AT SUITE ENTRY, TYP - SEE ELECTRICAL.
10. METAL SCREEN, TYP.
11. METAL AWNING & VERTICAL TRIM





**MATERIAL SCHEDULE**

MATERIAL	MANUFACTURER	PRODUCT # / COC OR FINISH
A PAINTED EXISTING SLIMP BLOCK - TYP.	DUNN EDWARDS	DE 6397 (SILVER LAKE)
B HOT ROLLED STEEL	CUSTOM	PERMALACK BLACK
C TEMP GLASS IN ALUMINUM STOREFRONT DOOR & WINDOW - TYP.	WESTERN WINDOWS	BLACK
D 42\"/>		

**ELEVATION KEYNOTES:**

1. RAISED TAPERED STEEL PLANTER, TYP.
2. NOT IN USE.
3. 6' HIGH PATIO WALL - SEE 16&17/SP201.
4. METAL CANOPY - SEE STRUCTURAL.
5. BUTT-GLAZED GLASS WINDOW IN ALUMINUM STOREFRONT SYSTEM.
6. WALL MOUNTED LIGHT, TYP. - SEE ELEC.
7. INSULATED METAL DOOR.
8. RECESSED SES CABINET.
9. RECESSED LIGHTS IN SOFFIT ABOVE AT SUITE ENTRY, TYP - SEE ELECTRICAL.
10. METAL SCREEN, TYP.
11. METAL AWNING & VERTICAL TRIM

**Medallion Signage - 3 Per Elevation Maximum**

- 1) 16 Square Feet Maximum Per Medallion - 5 Feet Maximum Height**
- 2) Sign Area of Medallion Signage to be Deducted from Tenant's Allowable Sign Area**
- 3) Tenant Copy and/or Logo to be Dimensional**
- 4) Tenant Copy and/or Logo may be Illuminated**

General Requirements – Tenant Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout The Wedge for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Tempe Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the City of Tempe as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the City of Tempe, the latter shall prevail.

I. GENERAL REQUIREMENTS AND PERMIT PROCEDURE

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, two (2) copies of detailed drawings drawn to scale illustrating the the exact location(s) of the proposed signage on the building elevation(s), the size, layout, design color, method of illumination, material specifications, and the method of attachment.
- B. Tenant or Tenant’s representative shall obtain all required permits for signs and their installation from the City of Tempe.
- C. All signs shall be constructed and installed at Tenant’s sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the City of Tempe.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals shall remain the sole and absolute discretion of the Developer and/or Developer’s authorized representative and the City of Tempe.
- F. Tenant shall be responsible for the installation and maintenance of Tenant’s sign. Should Tenant’s sign require maintenance or repair, Developer shall give Tenant fourteen (14) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer’s invoice.
- G. Devices such as attraction boards, posters, banners and flags may be permitted. Tenant shall first submit its request for approval to the Developer who shall have

sole and absolute discretion in granting approval prior to Tenant obtaining any and all required permits from the City of Tempe.

II. SPECIFICATIONS - TENANT SIGNS

A. General Specifications

- 1. Animated, flashing or audible signs, shall be not be permitted.
- 2. All signs and their installation shall comply with all City of Tempe building and electrical codes.
- 3. Canopy mounted signs will utilize an exposed raceway to accommodate Tenant’s building signage oriented to Rural Road. The exposed raceway shall not exceed 4” in height. All Tenant signage shall consist of individual letters and logos installed onto the continuous raceway and shall be mounted in a manner that aligns the back of the letter with the face of the canopy structure. Tenant signage shall not include any background color, material and/or structure used to delineate tenant’s signage. Developer shall have the sole and separate discretion in varying any provision of these specifications, subject to City of Tempe approval.
- 4. All conductors, transformers and other equipment required to illuminate the Tenant’s signage shall be concealed in the raceway mounted on top of the canopy.
- 5. Painted lettering shall not be permitted except as approved by the Developer and the City of Tempe.
- 6. Any damage to any wall surface, canopy, and/or roof deck resulting from Tenant’s sign installation shall be repaired to its original contion at the Tenant’s sole expense.
- 7. Upon removal of any sign by a Tenant, the Tenant shall repair any damage to the wall surface, canopy, and/or roof deck to its original condition at the sole expense of the Tenant.

B. Placement of Signs

- 1. All Tenant signage shall be installed in accordance to the approved Comprehensive Sign Plan in location(s) designated by the Developer and the City of Tempe based upon the Tenant’s leased space. Medallion signage shall be allocated to a specific Tenant at the Developer’s sole and separate discretion subject to permit approval by the City of Tempe.

III. TENANT SIGNAGE - DESIGN REQUIREMENTS

Tenant signage shall consist of Individual illuminated and/or non-illuminated letters and logos. Letters and logos may be constructed as internally illuminated pan channel letters with illuminated acrylic sign faces, reverse pan channel "backlit" or "halo" illuminated letters, or any combination thereof. Tenant shall obtain Developer's written approval prior to submitting a sign permit application to the City of Tempe. All signage shall be installed in compliance with all building and electrical codes of the City of Tempe. All signage shall be in compliance of all UL standards and shall be listed and installed in accordance to the National Electrical Code, Article 600. Any sign installation found to be non-compliant with these provisions shall be remedied immediately by the Tenant at Tenant's sole expense.

A. Sign Area

1. Sign copy mounted as individual letters or graphics against a wall or canopy of the building that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, shall be measured as the area enclosed by the smallest geometric shape that will enclose all sign copy.
2. The maximum total aggregate sign area for any one Tenant may be equal to forty (40) square feet plus one (1) square foot of sign area for every lineal foot of business frontage beyond forty (40) lineal feet, as measured by business frontage. For this site, Business Frontage shall be calculated as ~~the sum of the Tenant's leased storefront lineal footage on the west elevation facing Rural Road plus the Tenant's leased storefront lineal footage on the east elevation facing the parking area so long as the primary entrance to the leased space is on the east elevation facing the parking area. In all instances, sign area shall be calculated~~ in accordance with the City of Tempe Zoning and Development Code.

B. Height and Length Restrictions

1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer based upon the individual building's unique design.
2. In no event shall any sign exceed eighty (80) percent of the Tenant's storefront wall and/or canopy surface upon which it is placed.

C. Brand identity

1. Tenants may use the typeface, marks/icons, logos, and colors of their choice subject to Developer's approval. Logos are limited to twenty five (25%) percent of the total sign area. **AND THE CITY OF TEMPE'S**
2. Nationally recognized Tenants shall be permitted to utilize their standard corporate identification programs subject to the limitations stated herein.

D. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, and/or a combination of lighting methods mentioned herein.
2. Tenant signage shall be illuminated utilizing LED's and/or neon tubing. All illumination shall cast even lighting avoiding hot spots. Uneven illumination shall be corrected by the Tenant at Tenant's sole expense.

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer and the City of Tempe harmless for, from and against damages or liabilities on account thereof.

**AND THE CITY OF TEMPE**