

SIGN PACKAGE CRITERIA

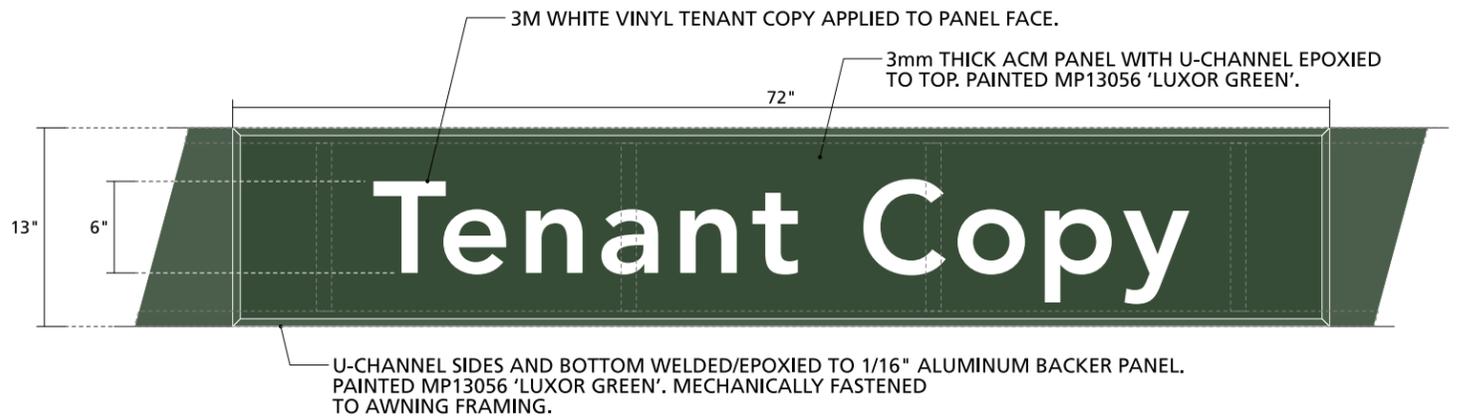
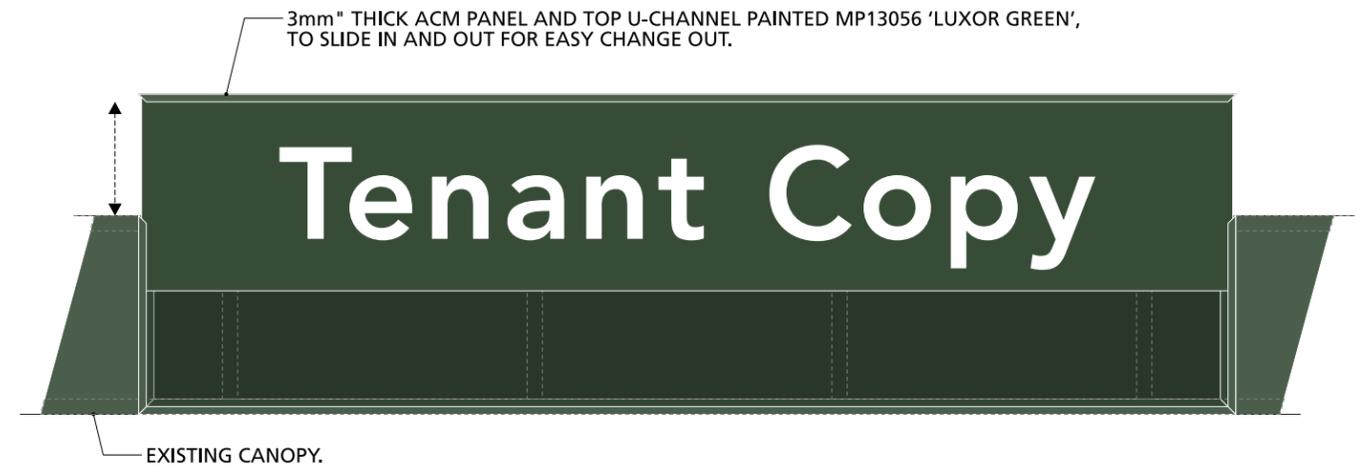
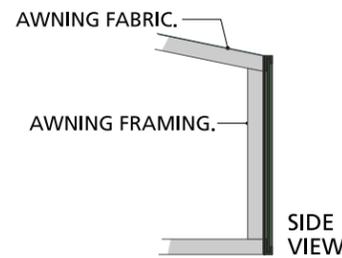
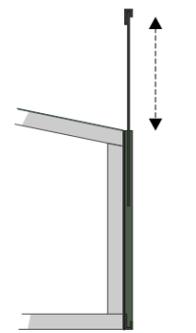
DATE	04/17/2019
PROJECT NAME	The Harper
PROJECT ADDRESS	4690 South Lakeshore Drive
TYPE	Individual non-illuminated panels
ILLUMINATION	None
MATERIAL	Aluminum Composite
CONSTRUCTION	ACM panels with white vinyl copy
LOGO	Restricted to 25% of sign area
COLOR	Panel and frame to match awning fabric color
SIZE RESTRICTION	13" tall x 72" long
INSTALLATION	Mounted to aluminum frames on awning face
MAJOR/PAD TENANT VARIATION	None

Each sign to be centered on canopy



PHOTO ELEVATION

6.5 SF per sign
6.5 x 6 = 39 total SF



CANOPY MOUNTED TENANT IDS

scale: 1" = 1'-0"

Total Qty: 6

6.5



Gretchen Wilde, owner / designer
1205 N. Miller Road
Tempe, AZ 85281
480.966.6565 / 480.966.5668 (f)
signs@airparksigns.com

4690 S. Lakeshore Dr.
Tempe, Arizona 85282

NOTES:

Approved By:

Date:

trc
jh

The Harper
Awning Canopy ID

01-10-19

1 / 1
PAGE



EXPIRES: 03-30-2016

Copyright: © 2013 by Womack+Hampton Architects, L.L.C. All rights reserved. This document is the property of W.H.A. L.L.C. and may not be reproduced in any form without written permission.

Project No. 15010

Drawn By: DATE: 07/19/2016
Issue For Permit: MAY 14, 2014
Revisions Per City Comments: NOVEMBER 21, 2014
Issue For Construction: NOVEMBER 21, 2014

Revisions:
NOVEMBER 21, 2014 CITY COMMENTS
FEBRUARY 10, 2015 CITY COMMENT 2
MAY 22, 2015 CITY COMMENT 3
JANUARY 15, 2016 CITY CHANGES
FEBRUARY 26, 2016 CITY CHANGES
JULY 14, 2016 REVISION



SITE SUMMARY

PROJECT NAME: Lake Country Village Residential	SITE AREA: 146 AC (658,000 S.F.)
ADDRESS: 4650 South Lakeshore Drive, Tempe, AZ 85282	GROSS AREA (PAD): 146 AC (658,000 S.F.)
DENSITY: 750 UNITS/AC	TOTAL UNITS: 261 UNITS
EXISTING ZONING: PCC-2 (PAD)	BUILDING HEIGHT: 42'-0" NO. OF STORIES: 5
PROPOSED ZONING: PCC-2 (PAD)	
GENERAL PLAN 2050 PROJECTED LAND USE (MIXED-USE)	
PROPOSED LAND USE (MIXED-USE)	
GENERAL PLAN 2050 PROJECTED DENSITY (MEDIUM TO HIGH UP TO 25 DWG/AC)	
PROPERTY TYPE: MULTI-FAMILY COMMUNITY	LANDSCAPE AREA: 250,956 S.F. = 91.0% (65,800 S.F.)
BI-CYCLE REQUIRED: 261 SPACES	BI-CYCLE PROVIDED: 261 SPACES
BI-CYCLE PROVIDED: 261 SPACES	

PARKING ANALYSIS

STANDARD	TEMPERATURE	ZONING	PAD/100	MODIFIED
PARKING REQUIRED:				
102 1 BEDROOM	x 1.5	288	x 1.25	240
105 2 BEDROOM	x 2.0	326	x 2.0	326
112 3 BEDROOM	x 2.5	301	x 2.5	301
361 GUEST	x 0.2	73.4	x 0.2	73.4
TOTAL:		710		652

LEGAL DESCRIPTION

LOT 1 LAKE COUNTRY VILLAGE PHASE I, PER BOOK 1094, PAGE 41, MARICOPA COUNTY RECORDS AND LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

- GENERAL NOTES**
- CURTAINS ARE TO BE BATTENED UNDER SPRINKLE FRONT.
 - POOL IS TO BE SUBMITTED UNDER SEPARATE PERMIT.
 - REPLACE LANDSCAPE PLANS FOR PERENNIALS AND SETS (2014).
 - WHILE LANDSCAPE PLANS ARE BEING PREPARED, THE CONTRACTOR SHALL MAINTAIN EXISTING LANDSCAPE AND PROVIDE TEMPORARY LANDSCAPE PLANS FOR PAVED DETAILS.

BUILDING 'A' BUILDING TYPE I 54 UNITS	BUILDING 'B' BUILDING TYPE II 41 UNITS	BUILDING 'C' BUILDING TYPE III 52 UNITS	BUILDING 'D' BUILDING TYPE IIIA 52 UNITS	BUILDING 'E' BUILDING TYPE IV 46 UNITS
BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.

BUILDING 'A' BUILDING TYPE I 54 UNITS	BUILDING 'B' BUILDING TYPE II 41 UNITS	BUILDING 'C' BUILDING TYPE III 52 UNITS	BUILDING 'D' BUILDING TYPE IIIA 52 UNITS	BUILDING 'E' BUILDING TYPE IV 46 UNITS
BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.	BUILDING INFORMATION CONSTR. TYPE: V-A OCC. TYPE: R-2 (ST, 2ND AND 3RD FLOOR) U (5TH FLOOR) SPRINKLERED BY NFPA B SYSTEM TOTAL ALLOWABLE AREA PER FLOOR PER SECTION 506.4 A ₁ X 5 (number of floors) TOTAL ALLOWABLE BUILDING AREA = 106,000 S.F.

GENERAL PROJECT DATA

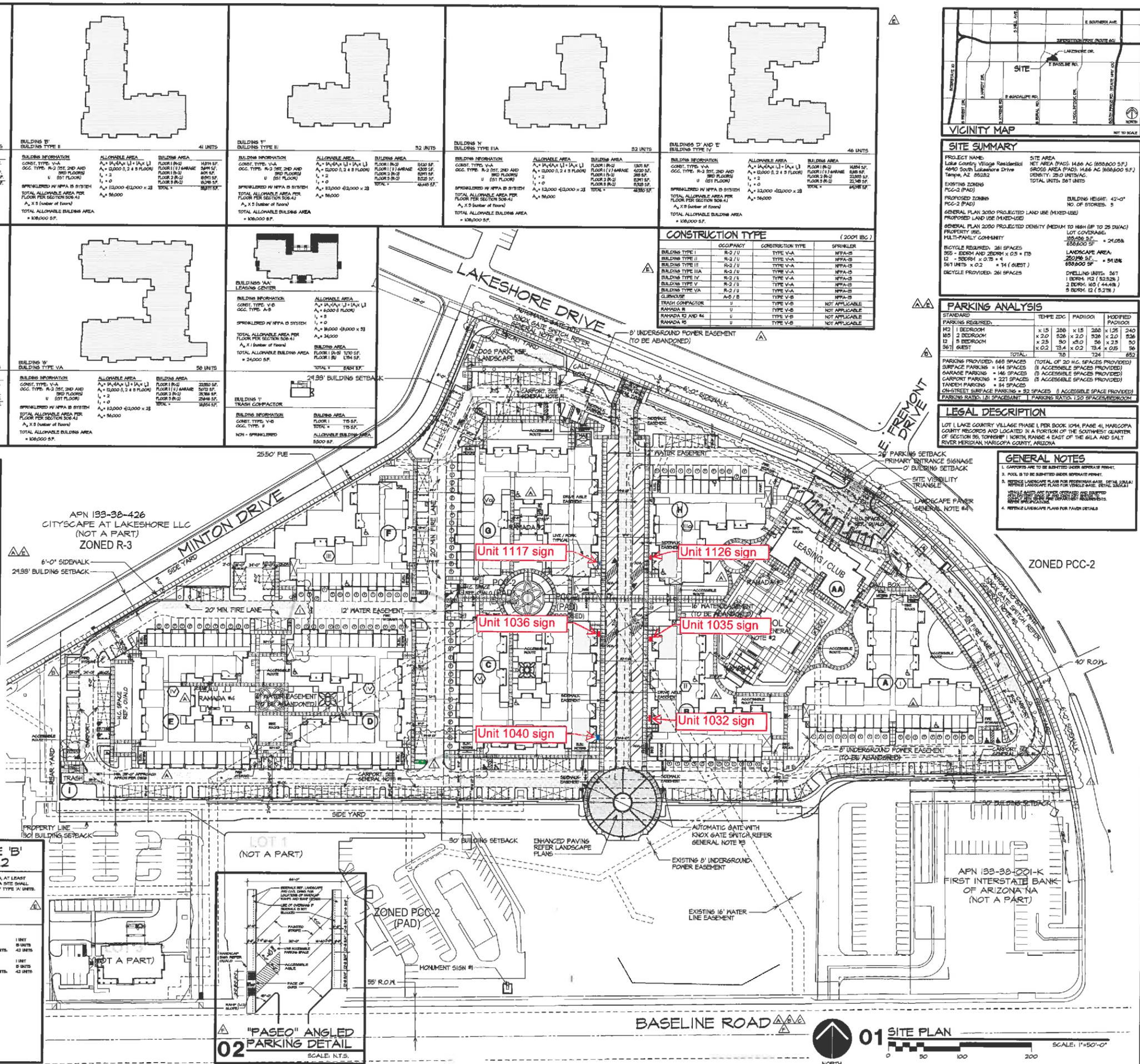
CONSTRUCTION TYPE:	TYPE V-A (BUILDING TYPE I, II, III, IV, V AND VA) TYPE V-B (LEASING / CLUB BUILDING) TYPE V-C (TRASH ENCLOSURE) TYPE V-D (RAMADA #1, #2, #3 AND #4)
OCCUPANCY TYPE:	BUILDING TYPE I, II, III, IIIA, IV, V AND VA (R-2 / U) RAMADA (U)
OCCUPANCY LOAD:	R-2 = 2094 OCC. (REFER OCC. CHART ALTHO THRU ALSF) U (RAMADA) = 104 OCC. (REFER OCC. CHART ALTHO THRU ALSF) TYPE V-B (TRASH ENCLOSURE) TYPE V-C (RAMADA #1, #2, #3 AND #4) TOTAL = 2174 OCCUPANTS
SQUARE FOOTAGE:	TOTAL: 525,426 S.F. REFER TO SHEET A/J FOR EACH BUILDING
BUILDING AREA MODIFICATIONS:	REFER TO SHEET A/J
SPRINKLER SYSTEM:	NFPA B
FIRE ALARMS:	YES
EMERGENCY POWER:	N/A
NUMBER OF EXITS:	PROVIDED REFER TO SHEETS A/JA THROUGH A/JP
NUMBER OF STORIES:	BUILDING TYPE I, II, III, IIIA, IV, V AND VA (5 STORY) LEASING / CLUB BUILDING (1 STORY)
MIN. FLOORING:	R-2 (REF. TO PLUMBING FIXT. CHART ON A/O) A-3 (REF. TO PLUMBING FIXT. CHART ON A/O)

PAD COMPARISON CHART

STANDARD	PAD/100 (MIN. AVERAGE)	MODIFIED PAD/100
MAXIMUM DENSITY (DWELLING UNIT / ACRE)	25	25
BUILDING HEIGHT		
MAXIMUM BUILDING HEIGHT	55 FT.	55 FT.
ADJACENT TO ST OR HP DISTRICT SECTION 4-00N, BLDGS. HT. STEP-BACK	YES	YES
MAXIMUM LOT COVERAGE (NET SITE AREA)	50%	50%
MINIMUM LANDSCAPE AREA (6% OF GROSS SITE AREA)	30%	30%
SETTLEMENTS		
FRONT	0 FT.	0 FT.
SIDE	20 FT.	20 FT.
REAR	0 FT.	0 FT.
STREET SIDE	0 FT.	0 FT.
BUILDING HALL	0 FT.	0 FT.
STREET SIDE	0 FT.	0 FT.
BUILDING HALL	0 FT.	0 FT.

ACCESSIBLE TYPE 'A' AND TYPE 'B' UNIT CHART PER SECTION 1107.6.2

TOTAL NUMBER OF UNITS: 261 UNITS	TOTAL NUMBER OF REQUIRED TYPE 'A' UNITS: 26% OF THE 261 TOTAL UNIT COUNT = 68 UNITS	TOTAL NUMBER OF PROVIDED TYPE 'A' UNITS: 68 UNITS
TOTAL NUMBER OF UNITS ON THE SITE THAT ARE TYPE 'B' UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		
TOTAL NUMBER OF TYPE 'A' UNITS:		
TOTAL NUMBER OF TYPE 'B' UNITS:		
TOTAL NUMBER OF NON-ACCESSIBLE UNITS:		



Womack+Hampton ARCHITECTS, L.L.C.
4650 South Lakeshore Drive
TEMPE, ARIZONA

Womack+Hampton ARCHITECTS, L.L.C.
4650 South Lakeshore Drive
TEMPE, ARIZONA

Sheet: A1.1
Number: SITE PLAN