

TEMPE VALE

1110 W. 1st Street
Tempe, AZ 85281

COMPREHENSIVE SIGN PLAN



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PROJECT
 TEMPE VALE
 1110 W. 1st Street
 Tempe, AZ 85281

DEVELOPER
 Verde Investments
 1720 W. Rio Salado Parkway
 Tempe, AZ 85281

Matt Brucker
 (602) 778-5003
 mbrucker@verdeinvestments.com

ARCHITECT
 Butler Design Group, Inc
 5017 E Washington St #107
 Phoenix, AZ 85034

Lanny Shaw
 (602) 957-1800
 lshaw@butlerdesigngroup.com

SIGNAGE CONSULTANT
 Trademark Visual
 3825 S 36th Street
 Phoenix, AZ 85040
 602 272-5055

Jim Bacher
 (602) 792 3120
 jbacher@trademarkvisual.com

PARCEL INFORMATION

ZONING
 GID

PARCEL NOs.
 124-27-001A
 124-27-002B
 124-27-003B
 124-27-004C
 124-27-006C
 124-27-008A

NET SITE AREA
 15.18 Acres

TOTAL OFFICE BUILDING AREA
 284,365 SF

TOTAL PARKING GARAGE AREA
 359,250 SF

OCCUPANCY
 TYPE: Multi-Tenant Office Center

JURISDICTION
 City of Tempe - Community Development
 Sign Code

Tempe Vale is being developed as a multi-tenant office center. The project is located at the “gateway” to Tempe’s industrial and commercial core on the southeast corner of Rio Salado Parkway and Priest Drive in Tempe, Arizona. The Property is surrounded by a combination of existing and planned retail, office and mixed-use development, and enhances the vitality and economic base of the area.

All tenant signs within Tempe Vale must be compatible with the standards outlined in this Comprehensive Sign Plan. The purpose of the sign standards is to ensure an attractive environment and to protect the interests of the surrounding neighborhood, owner, and tenants within the development. Conformance will be strictly enforced, and any installed non-conforming or unapproved signs will be brought into conformance at the sole expense of the tenant. Before designing signs, all tenants will receive a copy of these signage standards. Tenants may only utilize space on monument signage included within this CSP, instead of constructing additional monument signs. Sign plans submitted to the owner’s representative for approval must conform to these standards. The owner’s representative may administer and interpret the criteria as it applies to signage designs. All signs must be approved in writing by the owner’s representative prior to application to City of Tempe for permitting.

Where this Comprehensive Sign Plan does not provide criteria, the City of Tempe Community Development Sign Code will have precedence.

Signage Proposal

Each tenant must submit to the owner’s representative three (3) sets of detailed shop drawings (or a PDF Electronic Copy) showing locations (on buildings and/or property), dimensions, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, and other mounting apparatus of all proposed freestanding, wall, window, and rear door signs.

Sign Contractor’s Responsibilities

Prior to preparation of signage drawings and specifications, the tenant’s sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and to verify all dimensions.

Sign faces, sign cabinets and method of attaching signs to their support structure shall be designed and constructed to be in compliance with provisions of City of Tempe code.

Sign Shop Drawings

Sign shop drawings submitted by the Tenant shall provide complete information for the Landlord to understand the signage design, installation and appearance. Sign shop drawings shall:

- 1) provide an elevation, in scale, of the storefront façade illustrating each sign’s location and size.
- 2) provide a section or sections through the sign.
- 3) identify the materials and construction.
- 4) provide complete information on installation.
- 5) provide electrical specifications for signage.

Tenant Responsibilities For Other Regulations

The owner’s representative’s approval of a tenant’s signage plan does not constitute an implication, representation, or certification by the owner’s representative that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations. Compliance with other regulations is the sole responsibility of the tenant for all work performed on the premises by, or for the tenant.

No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of the owner’s representative.

Owner’s Representative Review

After review of the signage proposal, the owner’s representative will return back to the tenant within five (5) business days one of the three sets of drawings (or a PDF Copy) to the Tenant, marked either “Approved,” “Approved as Noted,” or “Revise and Resubmit.”

“Approved”

If drawings are marked “Approved,” the Tenant is allowed to proceed with sign permitting through the City of Tempe. Upon permit approval, construction and installation in accordance with the drawings may commence.

“Approved as Noted”

If drawings are marked “Approved as Noted,” the tenant is allowed to proceed with sign permitting through the City of Tempe and then construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.

“Revise and Resubmit”

If drawings are marked “Revise and Resubmit,” the plans will be returned to the tenant with comments. The drawings must be revised and resubmitted for owner’s representative approval.

For owner’s representative review, send signage drawings to:

Verde Investments
1720 W. Rio Salado Parkway
Tempe, AZ 85281

Matt Brucker
(602) 778-5003
mbrucker@verdeinvestments.com

Installation/ Sealing Of Building Wall Penetrations

All mounting is to be performed by the tenant’s sign company. Tenant’s building signage must be mounted directly to the building façade or canopy as shown on the elevations. Façade penetrations should be kept to a minimum. All penetrations of the building wall structure required for sign installation shall be neatly sealed in a watertight fashion. No roof penetrations are allowed. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.

Openings In Building Walls

Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings. All penetrations made shall be sealed during the sign installation to prevent damage to the building walls/ materials.

Electrical Requirements

No exposed tubing or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed. All electrical signs shall bear the UL label and shall conform to National Electrical Code Standards.

Damage Caused By Or During Installation

The sign contractor and/or tenant will pay for any damage to a building’s fascia, canopy, structure, roof, building elements or flashing caused by sign installation.

Upkeep And Maintenance

Each Tenant is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and tenants are to repair any sign defects within five (5) days of notification. If a tenant does not repair said sign(s), the owner, at the tenant’s sole cost and expense, may repair and/or replace sign(s). A penalty of 100% of the owner’s cost to repair said signage, in addition to the cost of the repair, may be assessed to the tenant if the landlord or building owner is required to provide the necessary maintenance due to the tenant’s non compliance following notification.

Owner’s Right To Modify Requirements

The owner’s representative has the right to modify the sign design standards and requirements for any Tenant.

Required Insurance For Sign Contractors

All sign contractors must carry workers’ compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor’s license in the State of Arizona. Landlord or building owner must be named as additionally insured in the workers’ compensation and commercial liability insurance. Contact the owner’s representative for this information.

Sign Identification Tags

No labels shall be permitted on the exposed surface of signs, except those required by local ordinance & labels complying with UL and/or National Electrical Code requirements.

General Construction Requirements

All signs shall be fabricated using full welded construction. All exposed fasteners shall be painted to render them inconspicuous. All signs shall conform to International Building Code Standards. Flashing, moving, or audible signs will not be permitted.

Illuminated Signs

Illuminated signs may be internally or externally lighted in commercial and industrial districts. The source of illumination of any sign is to be shielded so that it is not visible from or causes glare or reflection onto adjacent properties and streets. All illuminated signs must comply with the City of Tempe Community Development Sign Code.

Illumination Timer

Power to illuminate the tenant’s sign is to be from tenant’s electrical meter, switched through a time clock and photo cell, set in accordance with schedules determined by the owner and shopping center manager.

GRAPHICS

Lettering, symbols, and logos used for name identification (primary identification), and for identification of product and services (secondary identification or modifiers).

FREESTANDING SIGN

A sign supported permanently upon the ground by poles, pylons, braces or a solid base and not attached to any building. Freestanding signs include those signs otherwise known as "ground signs," "pole signs," "pylon signs," and "monument signs."

MONUMENT SIGN

A permanent sign that displays the name of a multi-tenant complex, tenants within the subject complex, and the physical address of the complex. A monument sign is placed along a street frontage and is attached to one or two sides of a freestanding wall or other ground structure separate from a building.

PERMANENT SIGN

A sign displayed for an unrestricted period of time.

SIGN AREA

The area contained within the geometric shape of the background panel or surface. Sign copy mounted as individual letters or graphics against a wall or fascia of a building or other structure that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, shall be measured as the area enclosed by the smallest geometric shape that will enclose all sign copy. Actual sign area allowed will correspond to a tenant's leased frontage. See Figure 1 on this sheet for example.

SIGN BAND

A physical architectural feature on a building surface, often above building entrances, designed to accommodate wall signage. See Figure 2 on this sheet for example.

SIGN ENVELOPE

Located within a sign band, the sign envelope is the designated area that defines the overall height and length allowances for sign area designated for tenant sign placement on a building elevation. For this project, the area of a sign envelope is ascribed as eighty percent (80%) of available horizontal and vertical wall space. A sign envelope does not necessarily define the allowable sign area for a sign. See Figure 2 on this sheet for example.

TEMPORARY SIGN

Any sign displayed for a restricted period of time. Please see the City of Tempe Community Development Sign Code for details.

WALL SIGN

A permanent sign with only one sign surface that is attached parallel to an outside wall of a building. A wall sign shall be of separate construction extending no more than ten inches (10") from the wall surface.

WINDOW GRAPHICS

A permanent or temporary sign attached directly to the surface of the windows, facing toward the exterior of the tenant space.



FIGURE 1

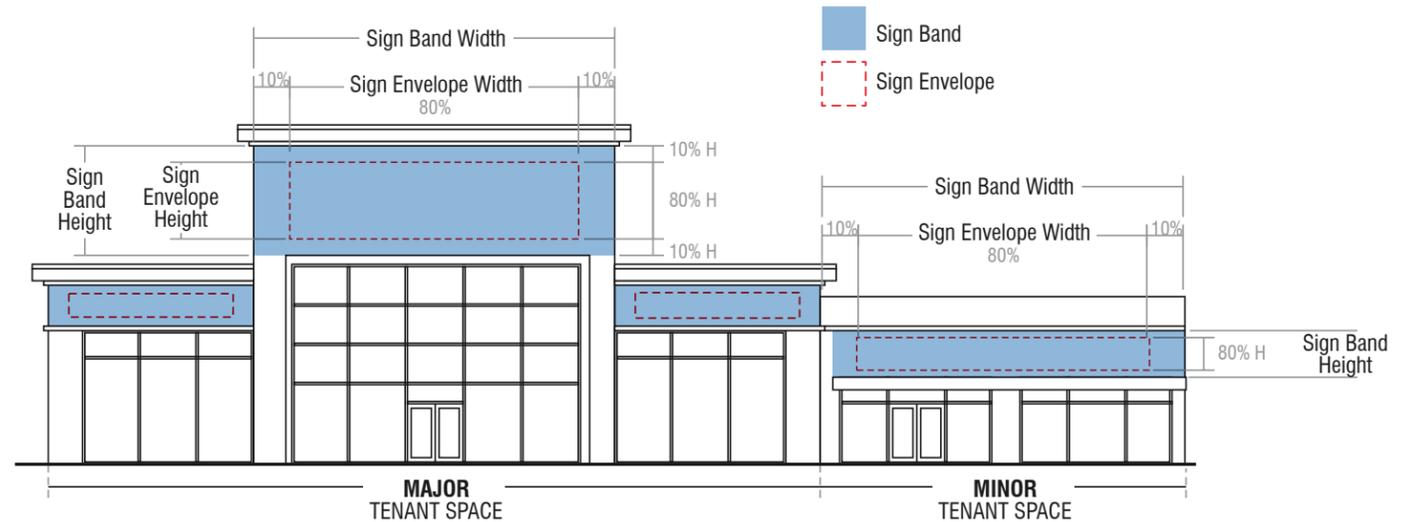


FIGURE 2

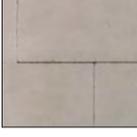
Property Sign Matrix

SIGN TYPE	FUNCTION	SIZES	SIGN LOCATION	SIGN CONSTRUCTION	ILLUMINATION	MATERIALS
A1 Primary Multi-Tenant Monument Sign	Property & Tenant Identification	Height of 15' 0" Sign area of 93.78 SF per side Max. of eight (8) tenant panels per side	Qty (1); Placed at the corner of Priest Drive and Rio Salado Parkway	Aluminum or steel framing construction & aluminum skin Aluminum tenant panels backed with acrylic Formed concrete central structure FCO aluminum address numerals	Project ID - Face-illuminated; white LED Tenant Panels - Face-illuminated; white LED	Acrylic or Lexan, Painted Aluminum/Steel/Metal, Various Vinyls, formed concrete (Typical)
A2 Secondary Multi-Tenant Monument Sign	Property & Tenant Identification	Height of 10' 0" Sign area of 46.06 SF per side Max. of six (6) tenant panels per side	Qty (5); (1) placed along Priest Drive (2) placed along Rio Salado Parkway (2) placed along 1st Street	Aluminum or steel framing construction & aluminum skin Aluminum tenant panels backed with acrylic Formed concrete central structure FCO aluminum address numerals	Project ID - Face-illuminated; white LED Tenant Panels - Face-illuminated; white LED	Acrylic or Lexan, Painted Aluminum/Steel/Metal, Various Vinyls, formed concrete (Typical)
B Freestanding Project ID	Property Identification	Height of 10' 0" Sign area of 8.00 SF per side	Qty (1); Placed along 1st Street	Aluminum framing construction & aluminum skin Formed concrete base	Internally and externally ground illuminated; white LED	Painted Aluminum/Metal, Various Vinyls, formed concrete (Typical)
C Freestanding Directory	Pedestrian Direction	Height of 6' 0" Max sign area of 24 SF per side	Placed near building entries and walkways as needed	Aluminum framing construction & skin Push-thru acrylic address numbers & development ID Directory map printed direct to acrylic/lexan Formed concrete base	Directory map - Face-illuminated; white LED	Acrylic or Lexan, Aluminum, Painted Metal, Various Vinyls (Typical)

Tenant Sign Matrix

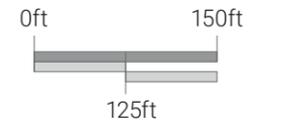
SIGN TYPE	FUNCTION	SIZES	SIGN LOCATION	SIGN CONSTRUCTION	ILLUMINATION	MATERIALS
T Tenant Signs T1 Tenant Wall Signs T2 Tenant Custom Cabinet Signs	Tenant Identification	Tenant shall only install 1 sign per sign band. Not to exceed eighty percent (80%) of the horizontal and vertical area of the sign band (architectural background); ten percent (10%) clearance on all 4 edges. Total tenant sign allotment shall not exceed a total area for any one (1) building equal to forty (40) square feet plus one (1) square foot of sign area for every lineal foot of business	All elevations that offer readability • All tenant signs must be located within the designated sign band areas shown starting on page x of this document • No tenant sign shall be installed in such a way that it exceeds the building height	Pan-channel, reverse pan-channel letters and logos, and/or "custom" cabinets. Flat cut-out aluminum letters for secondary copy only	Interior, backlit, or a combination thereof Exterior illumination with wall wash down lights	Aluminum, acrylic or lexan, painted metal, various vinyls (typical) <div style="border: 1px solid black; padding: 5px; text-align: center;"> MATERIAL DETAILS </div> Neon illumination is not allowed. Background cabinets are only allowed if they are custom, dimensional, & non-rectangular in shape. Secondary copy, if required, may be fabricated as flat cut-out finished aluminum.
T3 Tenant Window Graphics	Tenant Identification	Maximum 25% of window/glass door area	Applied to tenant windows and glass doors	RTA vinyl	Non-illuminated	No paper-printed graphics Various vinyls (typical)

Property-Specific Branding

Building Materials / Colors / Finishes	Type Families	Property ID	SIGNAGE Materials / Colors / Finishes
 <p>1" Insulated Glazing PPG / Viracon Solarban 70</p>	<p>The Type Families exhibited on this page shall hereinafter be referred to as the "Project Fonts".</p> <p><i>All ancillary signage shall utilize font styles from the list below, unless the sign is part of a corporate brand standard. With Landlord approval, Tenant signage may utilize corporate brand standards in relation to: colors, fonts, logos and logotypes.</i></p> <p>Circular Std Book abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> <p>Circular Std Medium abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> <p>Circular Std Bold abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> <p>Circular Std Black abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p>		<p>Materials shown under header "Materials, Colors & Finishes" is not an exhaustive list of all materials used to fabricate the development's signs, but rather is a listing of specialty materials that are preferred finishes or veneers. Other materials such as steel, aluminum, acrylic and polycarbonate are also commonly used in the construction of this development's signs.</p> <p><i>All ancillary signage shall match the materials/colors/finishes list below, unless the sign is part of a corporate brand standard. With Landlord approval, Tenant Names and Logos may utilize corporate brand standards in relation to: colors, fonts, logos and logotypes. In the event a tenant does not have official branding; the tenant is to select from the colors below:</i></p>
 <p>Metal Panel Kingspan Imperial White</p>			 <p>SW 7006 - Extra White Matthews Paint closest Match Gerber Vinyl Matte White (G 220-20)</p>
 <p>ACM Panel Kingspan Zinc Gray</p>			 <p>DET628 - Charcoal Sketch Matthews Paint closest Match Gerber Vinyl Duranodic (G 220-69)</p>
 <p>Storefront System Clear Anodized Aluminum</p>			 <p>Glass Panel Match to PPG / Viracon Soloarban 70</p>
 <p>Dunn Edwards DET628 - Charcoal Sketch</p>			 <p>MP - Brushed Aluminum Matthews Paint closest Match Clear Anodized Aluminum</p>
 <p>Dunn Edwards DEC795 - Gray Pearl</p>			 <p>Formed Concrete Natural Finish</p>
 <p>CMU Trendstone Mesa Stone - Huntington Gray</p>			<p>If the tenant does not have official branding colors, signage is to be SW 7006 Extra White or DET628 Charcoal Sketch.</p>
 <p>Smooth Limestone Solstice Stone Glacier</p>			



SITE MAP LEGEND



- Property Line
- Building Footprints

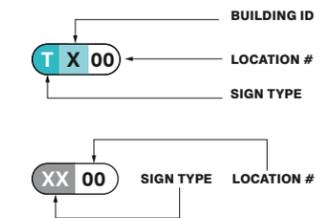
PROPERTY SIGN CRITERIA

- A1 00 Primary Multi-Tenant Monument Sign
- A2 00 Secondary Multi-Tenant Monument Sign
- B 00 Freestanding Project ID
- C 00 Freestanding Directory*

TENANT SIGN CRITERIA

- T X 00 Tenant Signage —

* Proposed placement near building entries exact locations TBD.



A1 Primary Multi-Tenant Monument Sign

Location

One (1) Primary Multi-Tenant Monument Sign is located within the site at the corner of Priest Drive and Rio Salado Parkway. Tenant panel location/usage is to be directed by the Owner.

Construction

Custom fabrication; street facing project ID cabinet and tenant cabinet have internal aluminum/steel framing and aluminum skin. Tenant cabinet features eight (8) removable face-lit tenant panels. Tenant panels are routed aluminum backed with 3/16" acrylic. Face-lit project ID text is routed from cabinet face backed with 3/4" clear push-thru acrylic with painted perforated vinyl applied 1st surface. Central structure is formed concrete with required internal reinforcement. Address numerals are FCO aluminum.

Appearance

Corporate letter styles, colors, logotypes and logos may be used with permission of Owner for individual tenant copy/logo. Overall panel color to be consistent between tenants.

Approval

All tenant sign panels must be approved by the owner prior to proceeding with the city of Tempe permit process.

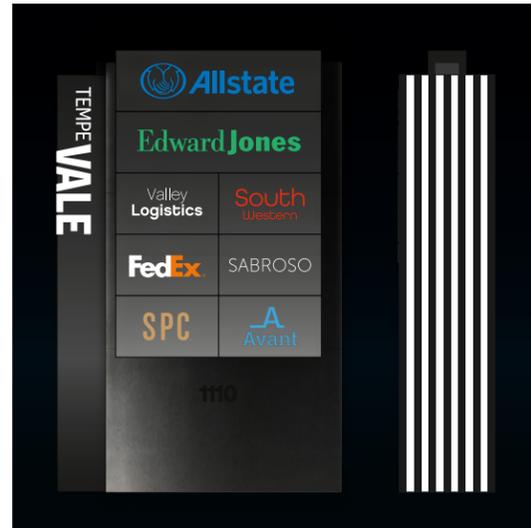
Color Palette

-  **EXTERIOR PAINT**
Matthews Paint to Match
Extra White SW 7006
-  **EXTERIOR PAINT**
Matthews Paint
Brushed Aluminum
-  **EXTERIOR PAINT**
Matthews Paint to Match
Charcoal Sketch DET628
-  **VINYL FILM**
Black Perforated Vinyl - Painted
Matthews Paint to Match
Brushed Aluminum
-  **CONCRETE**
Formed Concrete
Natural Finish

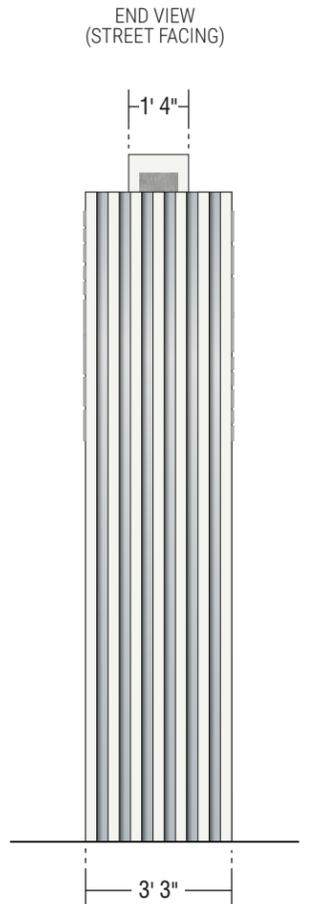
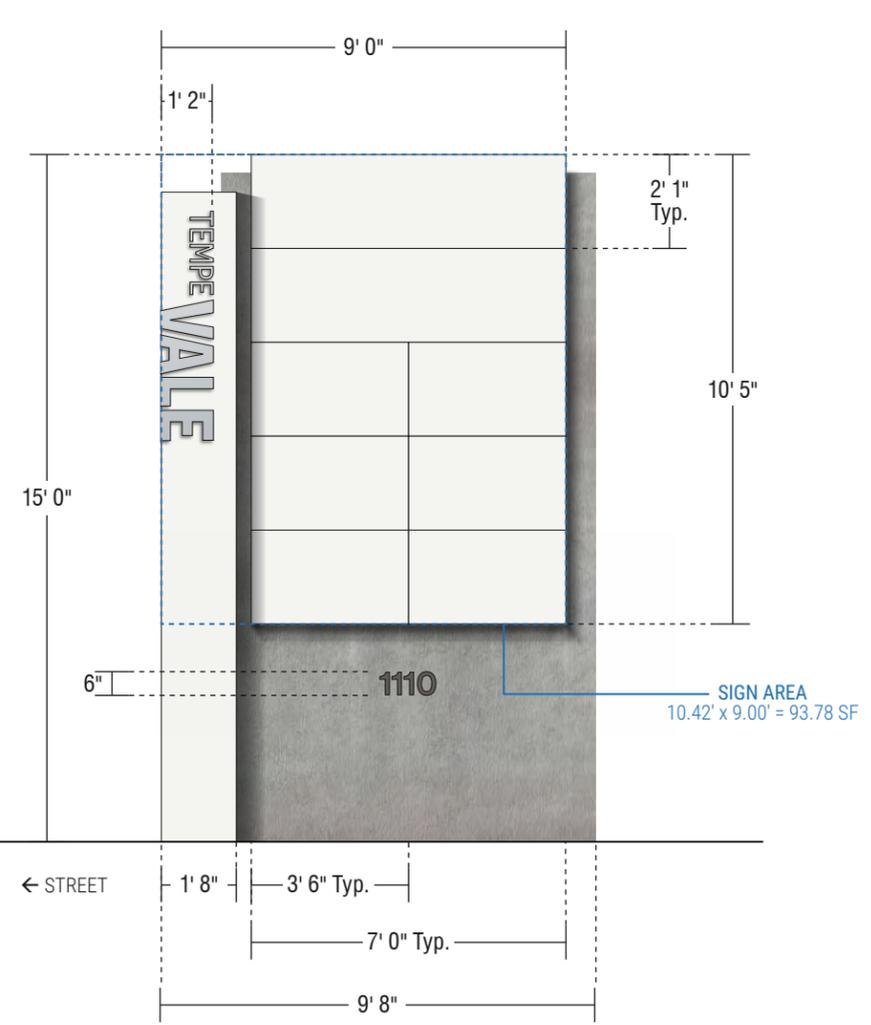
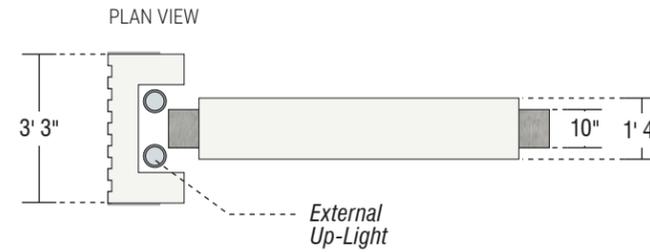
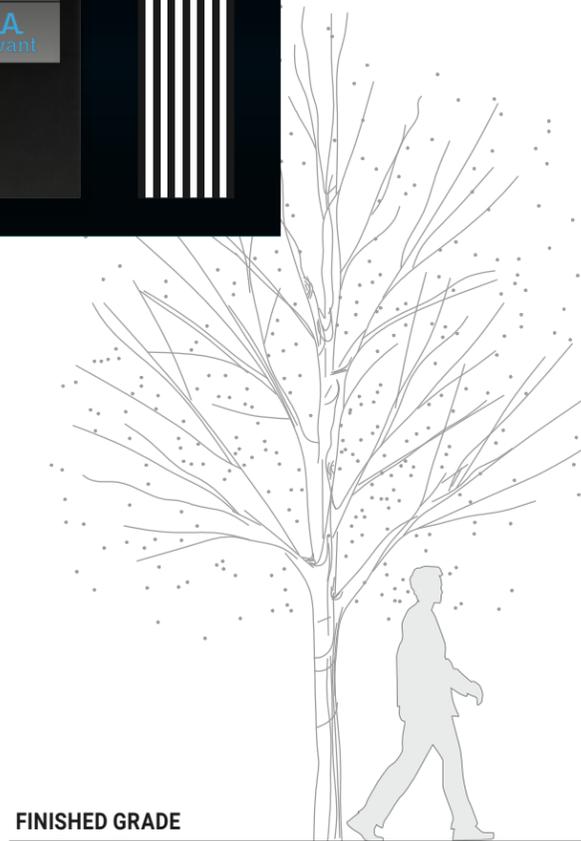
SCALE: 1/4" = 1'0"

TOTAL SIGN AREA 93.78 SF

ILLUMINATION RENDERING



Tenants shown above are for example only



A2 Secondary Multi-Tenant Monument Sign

Location

Five (5) Secondary Multi-Tenant Monument Signs are located within the site. Tenant panel location/usage is to be directed by the Owner.

Construction

Custom fabrication; street facing project ID cabinet and tenant cabinet have internal aluminum/steel framing and aluminum skin. Tenant cabinet features six (6) removable face-lit tenant panels. Tenant panels are routed aluminum backed with 3/16" acrylic. Face-lit project ID text is routed from cabinet face backed with 3/4" clear push-thru acrylic with painted perforated vinyl applied 1st surface. Central structure is formed concrete with required internal reinforcement. Address numerals are FCO aluminum.

Appearance

Corporate letter styles, colors, logotypes and logos may be used with permission of Owner for individual tenant copy/logo. Overall panel color to be consistent between tenants.

Approval

All tenant sign panels must be approved by the owner prior to proceeding with the city of Tempe permit process.

Color Palette

EXTERIOR PAINT
Matthews Paint to Match
Extra White SW 7006

EXTERIOR PAINT
Matthews Paint
Brushed Aluminum

EXTERIOR PAINT
Matthews Paint to Match
Charcoal Sketch DET628

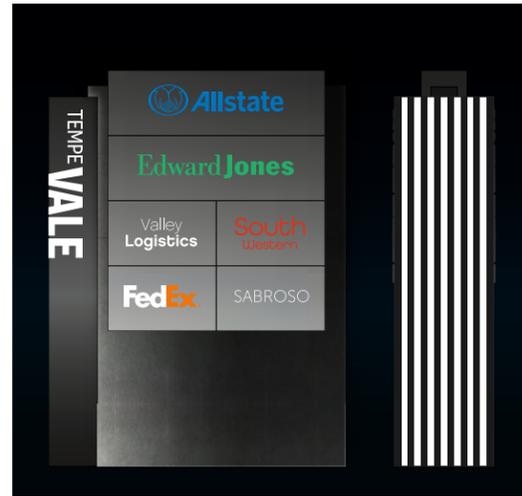
VINYL FILM
Black Perforated Vinyl - Painted
Matthews Paint to Match
Brushed Aluminum

CONCRETE
Formed Concrete
Natural Finish

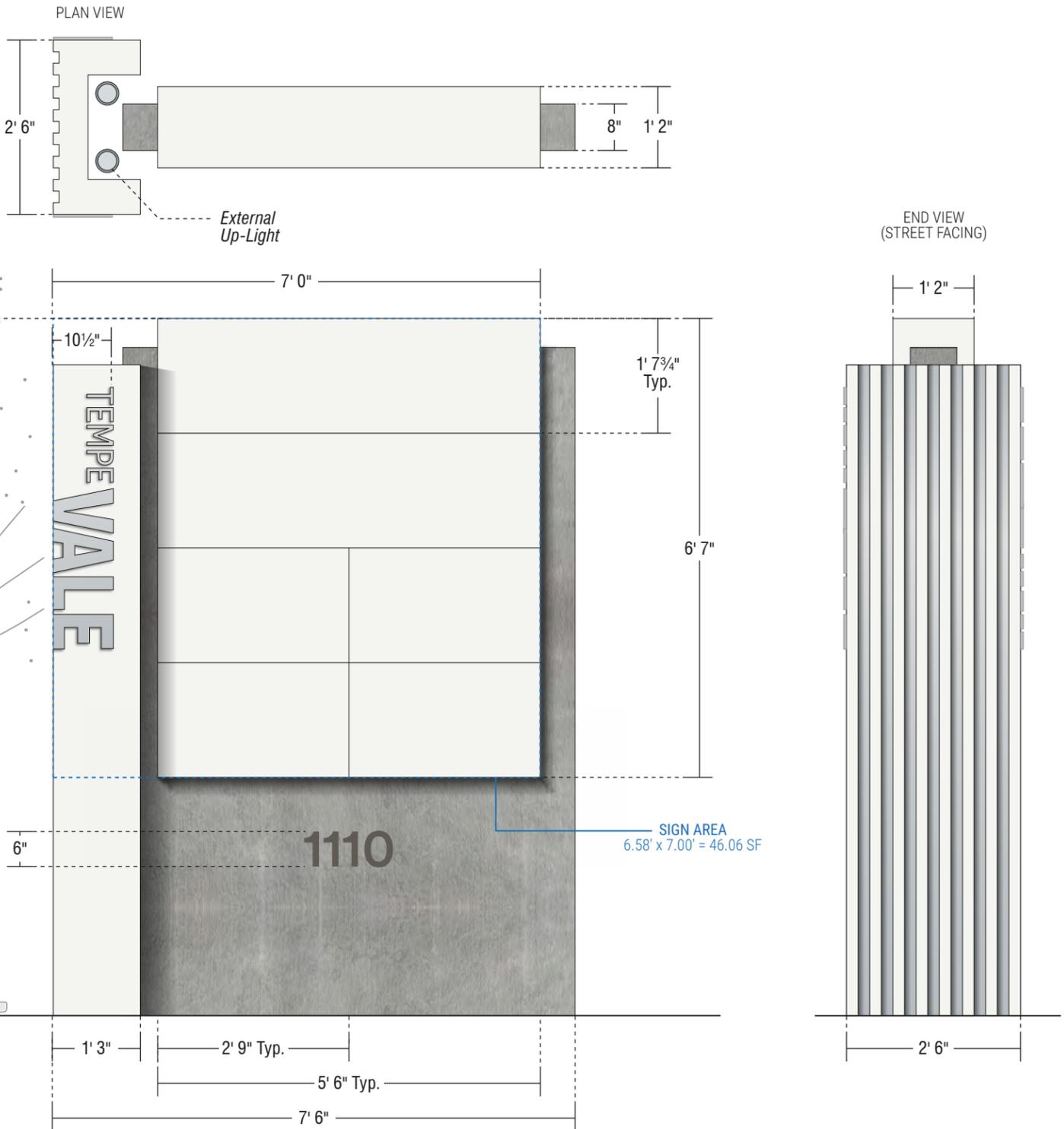
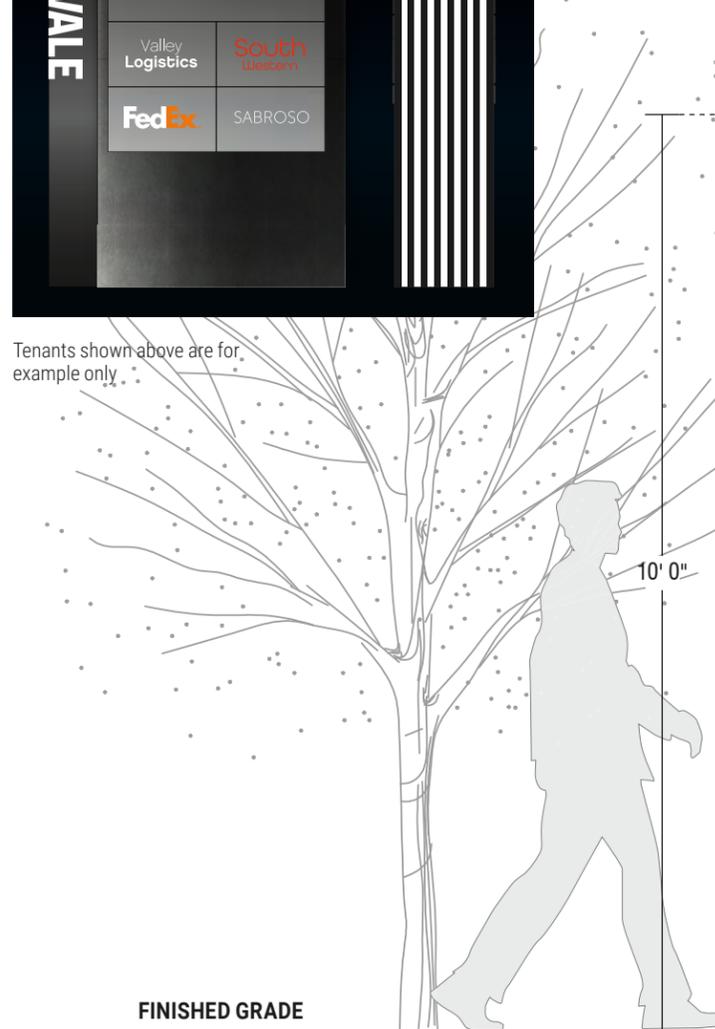
SCALE: 1/2" = 1'0"

TOTAL SIGN AREA 46.06 SF

ILLUMINATION RENDERING



Tenants shown above are for example only



B Freestanding Project ID

Location

One (1) Freestanding Project ID is located within the site in the center of the landscape island at the cul-de-sac on 1st Street.

Construction

Custom fabrication with internal aluminum/steel framing and aluminum skin. Includes two (2) internally illuminated project ID cabinets. Project ID is routed from cabinet face backed with 3/4" clear push-thru acrylic with painted perforated vinyl applied 1st surface. Formed concrete base.

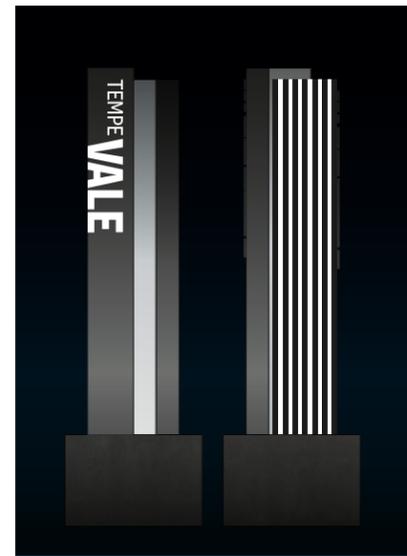
Appearance

Project ID and side accent slats to be illuminated. Concrete base to have embedded central up-light.

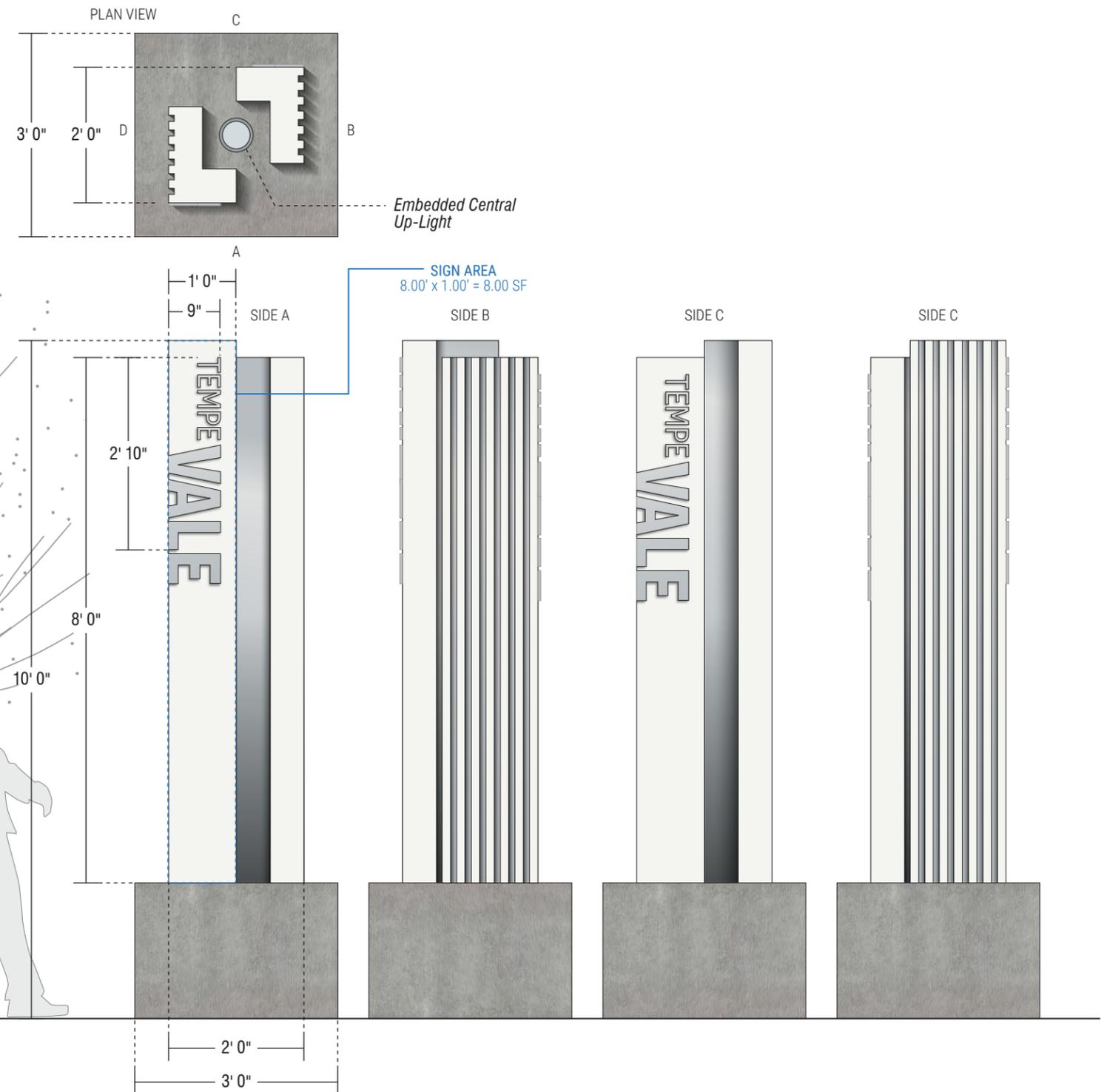
SCALE: 1/2" = 1'0"

TOTAL SIGN AREA 8.00 SF

ILLUMINATION RENDERING



Illumination shown is typical per side



Color Palette

-  **EXTERIOR PAINT**
Matthews Paint to Match
Extra White SW 7006
-  **EXTERIOR PAINT**
Matthews Paint
Brushed Aluminum
-  **VINYL FILM**
Black Perforated Vinyl - Painted
Matthews Paint to Match
Brushed Aluminum
-  **CONCRETE**
Formed Concrete
Natural Finish

C Freestanding Directory

Location

Three (3) Single-Sided freestanding directories are located within the site. These directories may be installed near building entries or by walkways throughout the property. Tenant ID panel location/usage is to be directed by the Owner.

Construction

Custom aluminum fabrication freestanding cabinet with six (6) tenant ID panels. Project ID is etched into the side of the exterior sign cabinet frame. Building ID and address are routed aluminum backed with 1/2" clear push-thru acrylic with perforated vinyl applied 1st surface. Tenant ID panels are routed aluminum backed with 3/16" white acrylic with perforated vinyl applied 1st surface. Illuminated directory map is glass panel with vinyl graphics applied 1st surface. LED lighting to wash from top of cabinet up over map. Formed concrete base.

Appearance

Directory Map and project ID to be illuminated. Tenant listing may be illuminated or non-illuminated.

Font:

All tenant ID names are to be set in Circular Std Book.

Circular Std Book
0123456789

Approval

All tenant ID panels must be approved by the owner prior to proceeding with the city of Tempe permit process.

Color Palette

	EXTERIOR PAINT Matthews Paint to Match Extra White SW 7006		GLASS PANEL Match to PPG/ Viracon Solarban 70
	EXTERIOR PAINT Matthews Paint Brushed Aluminum		CONCRETE Formed Concrete Natural Finish
	VINYL FILM Matte White Gerber 220-20		
	VINYL FILM Black Perforated Vinyl - Painted Matthews Paint to Match Charcoal Sketch DET628		

SCALE: 3/4" = 1'0"

TOTAL SIGN AREA 10.5 SF

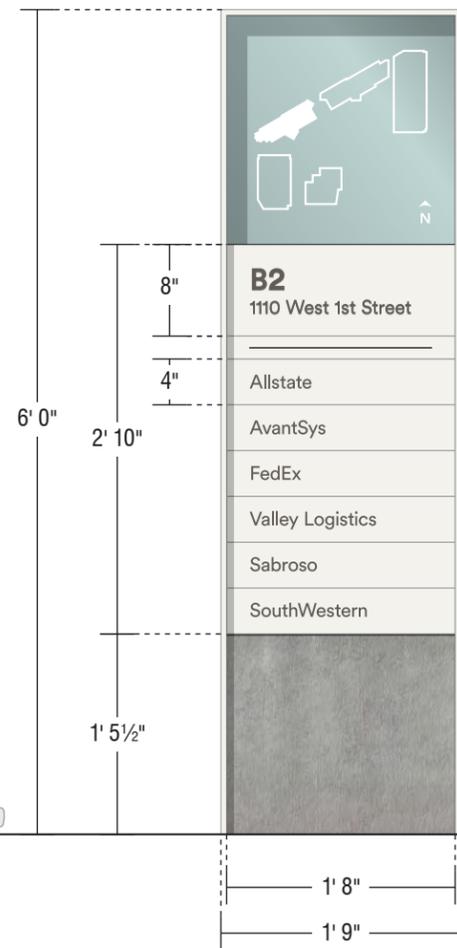
ILLUMINATION RENDERING



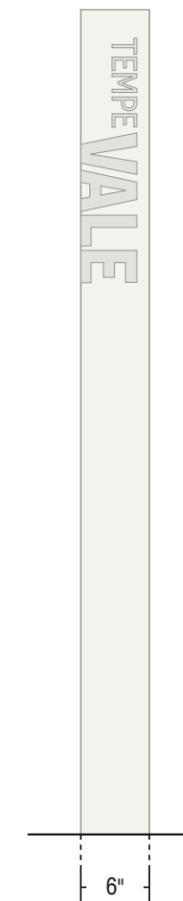
Tenants shown above are for example only



FINISHED GRADE



END VIEW



Tenant Sign Types

T1 Wall Signs

T2 Custom Cabinet Signs

Description

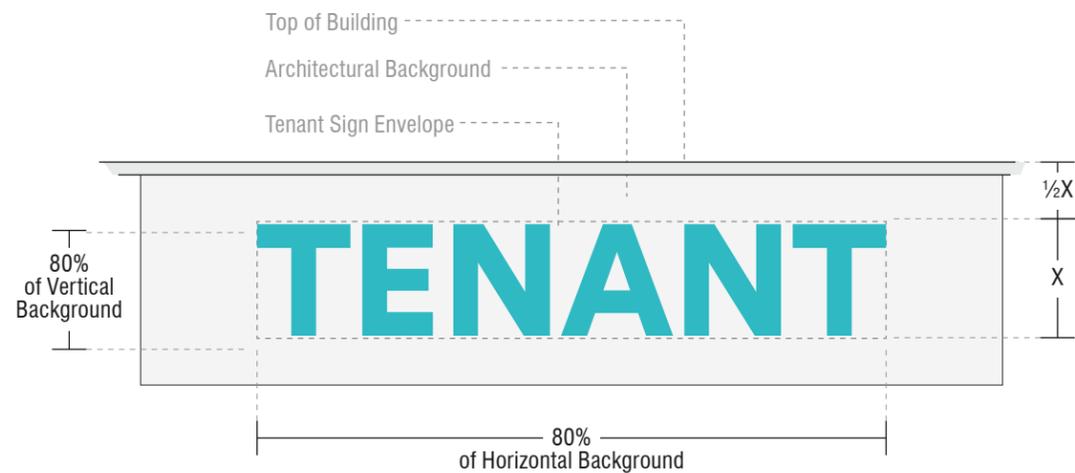
Wall Signs are any sign mounted flat against and projecting less than ten inches (10") from the wall of a building with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. A cabinet only sign may be used, as long as the cabinet shape in non-rectangular.

In all cases, the Tenant's signage shall be proportional to the scale of the overall building façade. Overall sign lengths shall not be greater than eighty percent (80%) of the lineal footage of the retailer's space as measured from the centerline of the adjacent tenant(s) demising wall(s).

Wall signs are subject to the City of Tempe review and approval.

Landlord Approval

Regardless of the design of the sign and its compliance with the general guidelines, all Wall-Mounted Signs must be approved by the Landlord prior to being submitted to the City of Tempe for permit application. The Landlord reserves the right to disallow any proposed sign at its sole discretion. Landlord approval does not guarantee Permit approval by the City of Tempe.

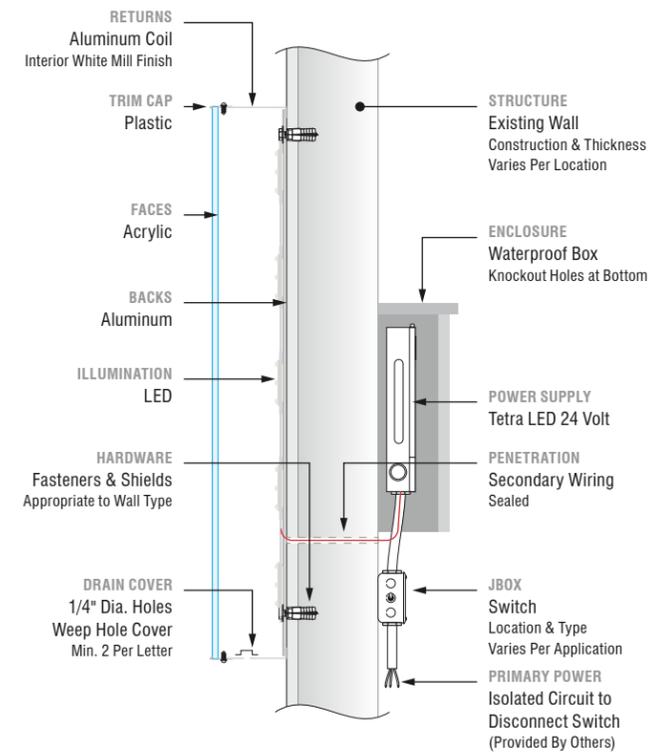


Allowable Sign Type Construction Details - Typical

FCOs - FOR SECONDARY & DEPARTMENTAL COPY ONLY

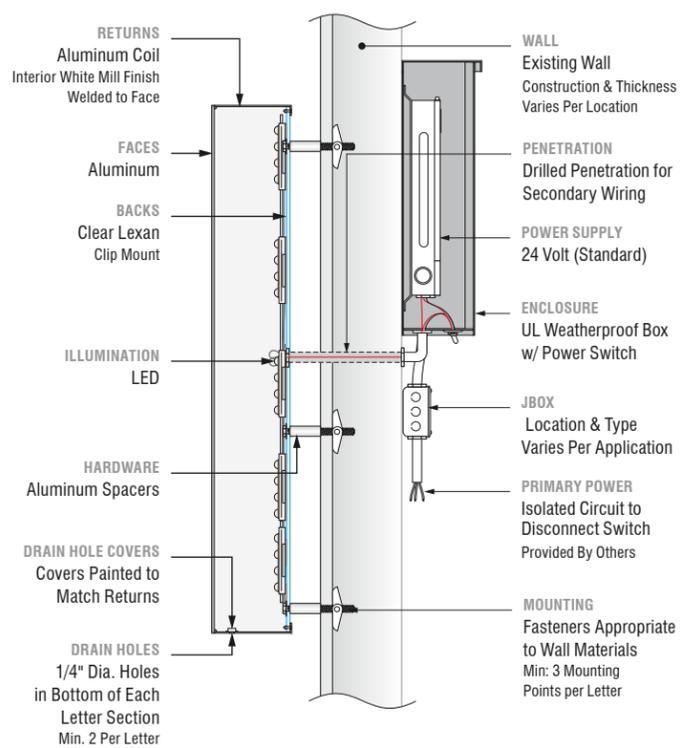
Section Detail - Typical Exterior

Pan Channel / Front-Illuminated / Flush Mounted



Section Detail - Typical Exterior

Reverse Pan Channel / Halo-Illuminated / Mounted with Spacers

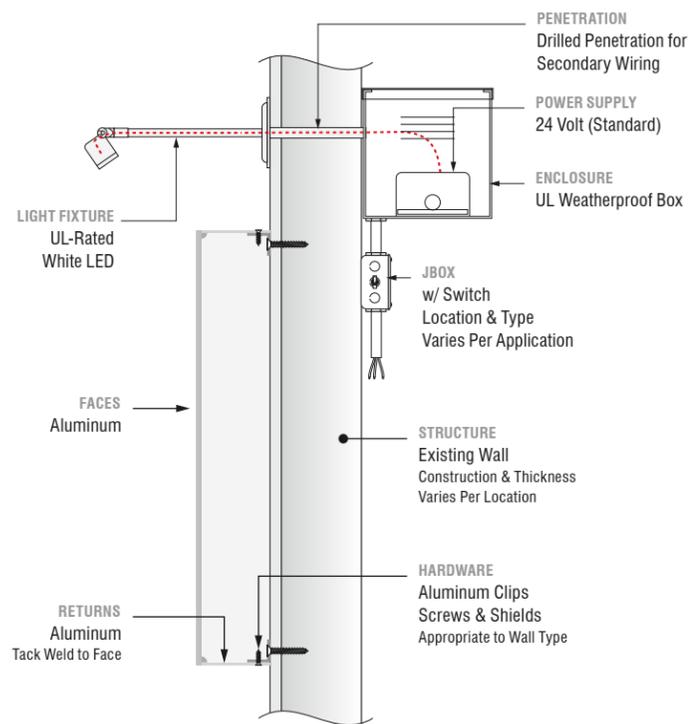


Lighting to meet
Lighting standards.
Only full cut off*

Section Detail - Typical Exterior

Reverse Pan Channel / Externally-Illuminated / Mounted Flush

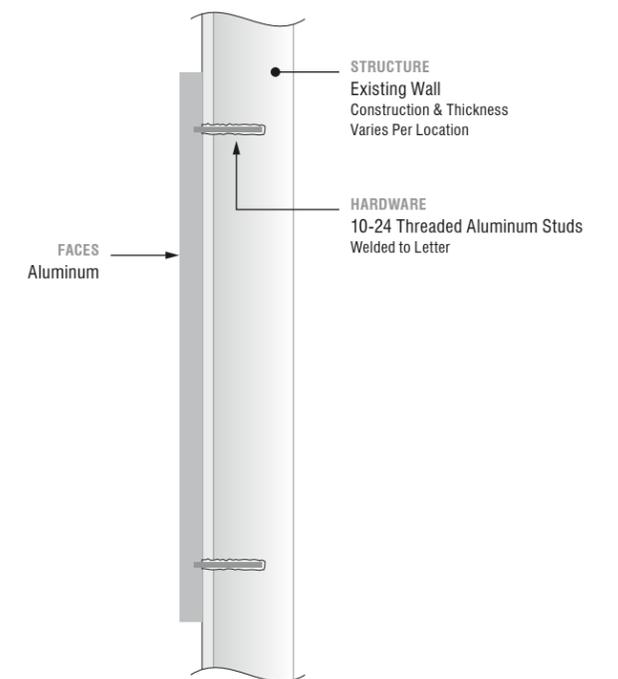
*NOTE: Light Fixture(s) may vary; Subject to Landlord Approval



Section Detail - Typical Exterior

Flat Cut-Out / Non-Illuminated / Stud Mount Flush

*FOR SECONDARY & DEPARTMENTAL COPY ONLY



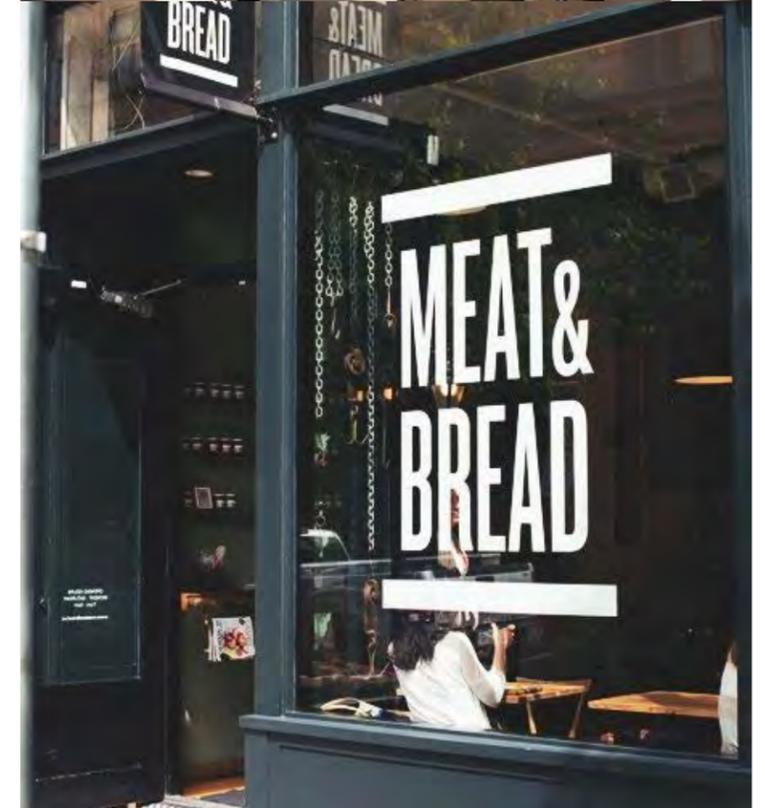
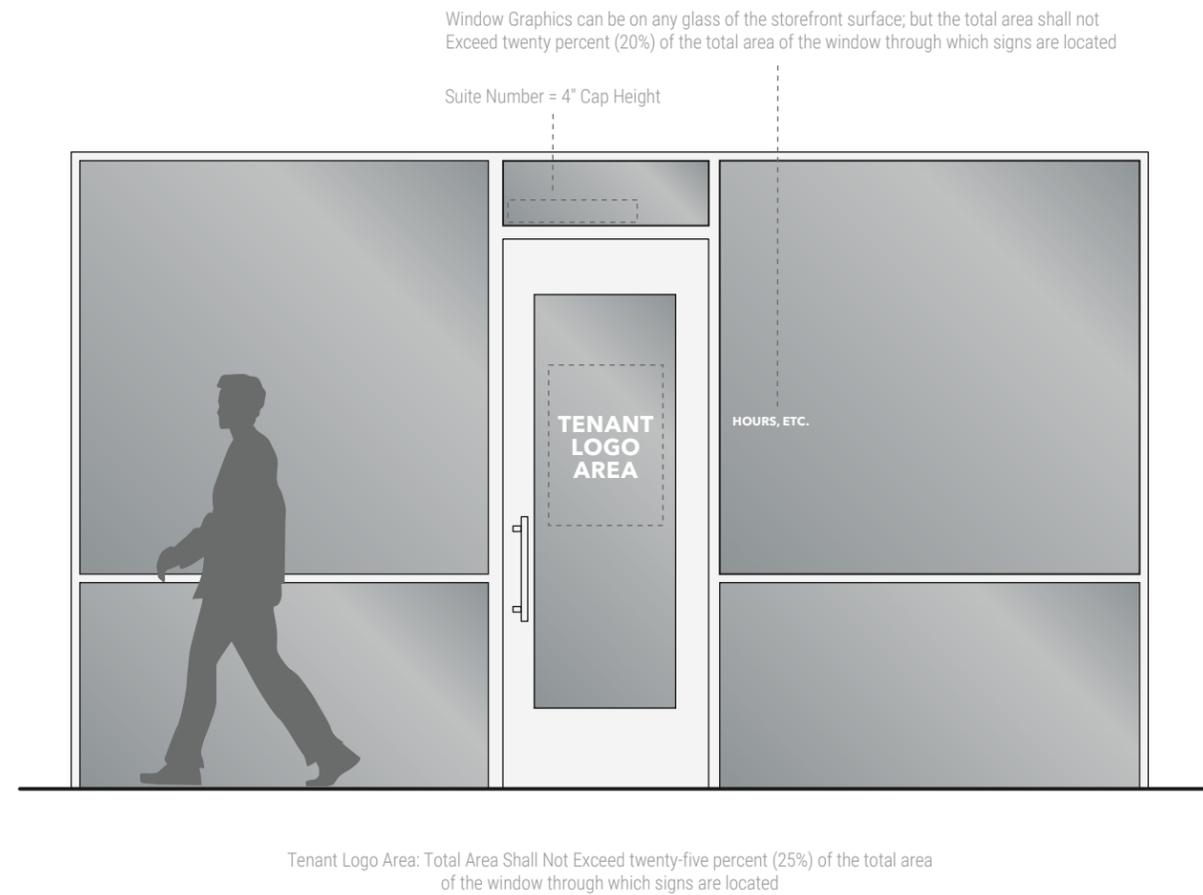
FCO Letter Thickness Requirements by Letter Height:

- 1" return for letters 12" to 16" in height
- 3/4" return for letters 7" to 11" in height
- 1/2" return for letters under 6" in height

T3 Window Graphics

Description

Window Graphics or applied graphics shall be any sign placed on or affixed to within the casement or sill area of a mineral glass window, door or other glazing. Window graphics sign area shall not exceed twenty-five percent (25%) of each window area. Window Graphics do not require a permit from the City of Tempe and do not count towards tenant's total sign area allotment.



Tenant Sign Bands



BUILDING 2 - North Elevation
Scale: 1/32" = 1'0"



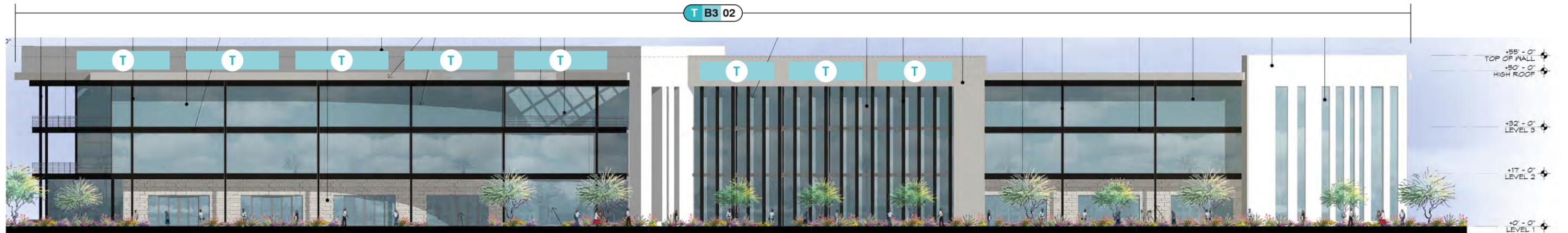
BUILDING 2 - South Elevation
Scale: 1/32" = 1'0"

* The elevation above shows all possible sign bands; however, not all sign bands will be utilized. Actual dimension of all signs may vary, however their maximum allowed sign area square footage shall not be exceeded. Total tenant sign allotment shall not exceed a total area for any one (1) building equal to forty (40) square feet plus one (1) square foot of sign area for every lineal foot of business.

Tenant Sign Bands



BUILDING 3 - North Elevation
Scale: 1/32" = 10'



BUILDING 3 - South Elevation
Scale: 1/32" = 10'

* The elevation above shows all possible sign bands; however, not all sign bands will be utilized. Actual dimension of all signs may vary, however their maximum allowed sign area square footage shall not be exceeded. Total tenant sign allotment shall not exceed a total area for any one (1) building equal to forty (40) square feet plus one (1) square foot of sign area for every lineal foot of business.