

COMPREHENSIVE SIGN PLAN:

PARK PLACE - BLDG II RETAIL SUITES

1135 E. Apache Blvd. Tempe, Arizona 85281

APN: 133-09-829

ADDRESS AKA: BLDG 1 & 2 - 1317 S. TERRACE RD. - TEMPE, AZ 85281



DEVELOPER/OWNER:

PARK 7 GROUP
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FL 4
NEW YORK, NY 10016

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PARK PLACE - BLDG II RETAIL SUITES

COMPREHENSIVE SIGN PLAN

I. PROJECT NARRATIVE

Park Place consists of 2 buildings along S. Terrace Rd and also along E. Apache Blvd. Building I is residential (student housing), Building II has student housing and has ground floor retail space, which is currently planned for 5 retail businesses. Final leased space demising walls to be decided. This plan addresses BLDG II retail suite signage exclusively.

This guideline is being established for the Retail spaces for the purpose of maintaining a continuity of quality and aesthetics for the retail portion of Park Place. The Comprehensive Sign Plan, (CSP), is to be approved by the planning dept., City of Tempe. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant or their agents shall be brought into conformity at the sole cost and expense of the applicable Tenant.

Tenant spaces have 2 types of storefronts, where the primary business ID signage envelopes will be located. Type 1 storefront is standard commercial wall construction with attic space on back of wall. Envelope height is 36". Below the sign envelope there are sections of horizontal "eyebrow" canopy that extends a few feet off the wall. Store front construction below the sign envelope is mostly glass and some wall sections. Type 2 storefront wall is set farther back than Type 1 wall, and has a structural steel drop down frame work that will be used to hold signage. Envelope height is 37" Besides primary business ID signage this CSP includes verbiage regarding window signage, and pedestrian flag mounted signage.

II. GENERAL REQUIREMENTS

- A. Each Tenant shall submit to the Landlord and/or his Agent, prior to fabrication, three (3) physical or one (1) electronic copy of detailed drawings indicating the location, size, layout, design color(s), illumination method, construction materials and method of attachment for all sign types.
- B. Each Tenant or representative shall obtain all required permits for signs and their installation.
- C. All signs shall be constructed and installed at each individual Tenant's sole expense.
- D. Each Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with this guideline and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Property Owner or Owner's authorized representative.
- F. Each Tenant shall be responsible for the installation and maintenance of their signage. Property owner may give the Tenant thirty (30) days' written notice to effect repairs when needed. If repairs are not done, Owner has right to effect repairs and Tenant shall reimburse the Owner for same.

III. SIGN REQUIREMENTS

- A. Prohibited signs:
 1. No flashing or audible signs.
 2. No animated or moving signs.
 3. No signs impinging on public ROW or impeding/hazardous to foot traffic.
- B. Sign Types: (details can be found in the following pages)
 1. Primary Business ID Sign: Type 1 storefront to have pan channel signage, wall mounted. Maximum letter height for primary signage to be 28" and maximum logo height to be 28". Type 2 storefront to have pan channel signage and raceway. Max letter height 29" and max logo 29" Maximum letter depth of 5". Maximum sign length 80% of horizontal store frontage and 80% of sign envelope height.
 2. Logo shapes are to be face-lit pan channel construction, but are not allowed to exceed 25% of the total sign area.
 3. All sign components to be of non-rusting materials, painted finish on exposed components.
 4. Flag-mount signs allowed; faces to be routed with acrylic (backed or push thru) graphics or pan faces. Carved or sand-blasted signs also allowed. This sign type may require stamped engineering.
 5. Window vinyl signage allowed, & restricted to 25% of the individual window in which sign is located. Text, graphics, images, or frosted areas allowed
- C. Illumination:
 1. Non-illuminated signs allowed.
 2. Internal illumination. Light source may be neon or LED.

PARK PLACE - BLDG II RETAIL SUITES

IV. SIGN MATRIX:

A. Sign Types:

1. Primary Business ID Signage (Type 1 & Type 2 Storefront Condition. See Site Plan sheet 7 for designation of store front type.):
 - a. Face-lit channel letters/logo
 - b. Halo-lit reverse pan channel letters.
 - c. Combination (face- and halo-lit) pan channel letters.
 - d. All pan channel signage is allowed to include backer panel if needed.
 - e. Internally illuminated cabinet signs, routed face, push thru, MAY BE approved for trademarked logos at Landlord's discretion.
 - f. Primary signs installed at Type 1 condition to be wall mounted with remote wiring located in attic area behind wall. Signs installed at Type 2 condition will have a raceway used for wiring, and exposed conduit along ceiling allowed (see page 11 depicting Type 2 condition).
2. Secondary Pedestrian Signage:
Illuminated or non-illuminated. Signs to be mounted as a flag mount, attached to building only, not attached to glass storefront aluminum frames.
3. Window Vinyl Signage:
Businesses will be allowed overlay vinyl on suite glass panels, and non entry glass door panels. Business related vinyl images, text, graphics, logo etc. Vinyl overlays to be 8'-6" max height from sidewalk. Window signs restricted to 25% of the individual window in which sign is located.
4. Entry Door Vinyl Signage:
Businesses will be allowed to cover up to 25% of entry glass doors with vinyl logo, hours, images, graphics or text related to their business.

B. Sign Functions:

1. Primary ID signs will be used for the purpose of identification of the retail business to people in vehicles traveling along roadways.
2. Secondary pedestrian signs will be used to identify business to walkers traveling along sidewalk.
3. Window and door vinyl is used to educate public more about the retailers business and helps add interest visually.

C. Sign Specifics:

1. Primary ID Sign:
 - a. Maximum quantity will be one per suite elevation. Sign shall not exceed 40 sq ft plus one sq ft of sign area for ea. additional ft. of lineal suite frontage over 40'.
 - b. Primary Business ID Sign: Type 1 storefront to have pan channel signage, wall mounted. Maximum letter height for primary signage to be 28" and maximum logo height to be 28". Type 2 storefront to have pan channel signage and raceway. Max letter height 29" and max logo 29" Maximum letter depth of 5". Maximum sign length 80% of horizontal store frontage and 80% of sign envelope height.
2. Secondary signs, illuminated or non-illuminated, will be allowed to project from wall. Only one secondary sign per business elevation. Size to be limited to 6 sq.ft or less. Bottom of sign to be 8' min. from grade.
3. Window and door vinyl must relate to the actual business, - ie: store hours, logo, images, text, opaque overlays or frosted glass appearance allowed.

D. Sign Design:

1. Primary ID signs are to be of high quality materials, designed to provide easy visual identification of business by general public. Sign letter & logo colors and fonts are at the discretion of the landlord/ property owner.
2. Secondary signs if illuminated, will have routed faces with either flat backing graphics or push-thru graphics. The attachment will be via tube connectors that will hide wiring. Colors and fonts of the copy at the discretion of the landlord/ property owner. Non-illuminated signs will have either vinyl copy or flat cut-outs for copy/ symbols. Colors, fonts of non-illuminated sign at the discretion of the landlord.
3. Window/door vinyl overlays will be reviewed by the landlord and approval will be required for all vinyl film images, text, overlays, etc...



OVERALL NORTH ELEVATION BLDG II

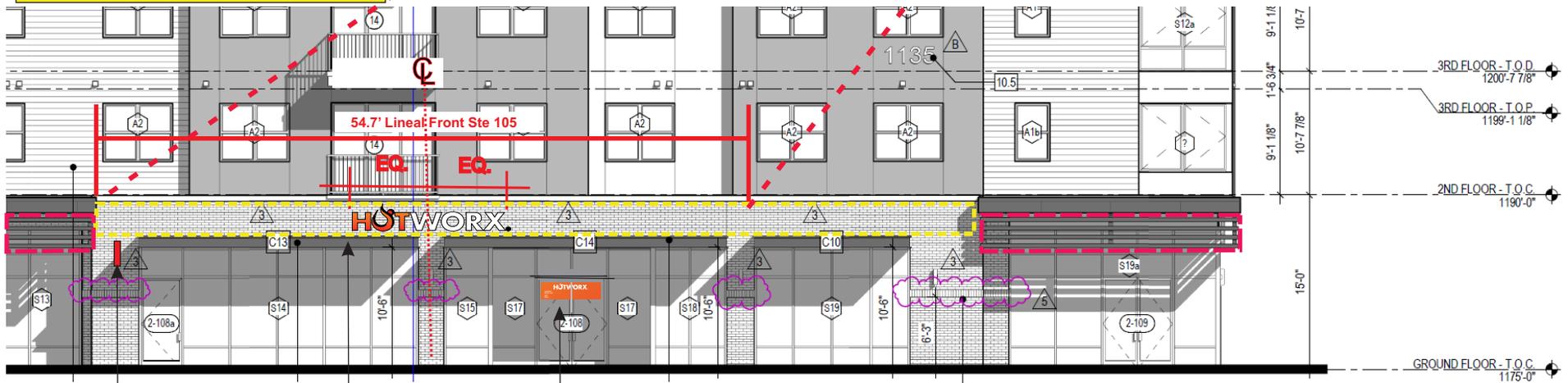
*YELLOW DASHED LINE INDICATES SIGN ENVELOPE AT TYPE 1 STOREFRONT - 36" HEIGHT

*RED DASHED LINE INDICATED SIGN ENVELOPE AT TYPE 2 STOREFRONT - 37" HEIGHT

*PURPLE CLOUDED AREAS ARE APPROX. BLDG. WALL LOCATIONS FOR FLAG MOUNT SECONDARY SIGNAGE.

*NOTE: MAX. SIGN HEIGHT ALLOWED IS 80% OF ENVELOPE HEIGHT-1 LINE OR STACKED

EXAMPLE OF RETAIL SUITE SIGNAGE - TYPE 1 STOREFRONT
 NOTE PRIMARY SIGN TO PLACED IN 36" HIGH SIGN ENVELOPE
 MAX SIGN HEIGHT IS 80% OF SIGN ENVELOPE



SECONDARY PEDESTRIAN SIGN - SIGN IS FLAG MOUNTED TO BUILDING MIN. 8" TO BOTTOM

PRIMARY ID SIGN WALL MOUNT-REMOTE FACE LIT PAN CHANNEL 28" MAX HEIGHT OF SIGNAGE

ENTRY DOORS VINYL 25% OR LESS COVERAGE ALSO ALL WINDOWS ALONG TENANT FRONTAGE ALLOWED WINDOW SIGNAGE, 25% COVERAGE OF THE WINDOW

4.1 PARTIAL NORTH ELEVATION BLDG II

NORTH ELEVATION RETAIL SUITES/SIGN ENVELOPE



OVERALL EAST ELEVATION BLDG II

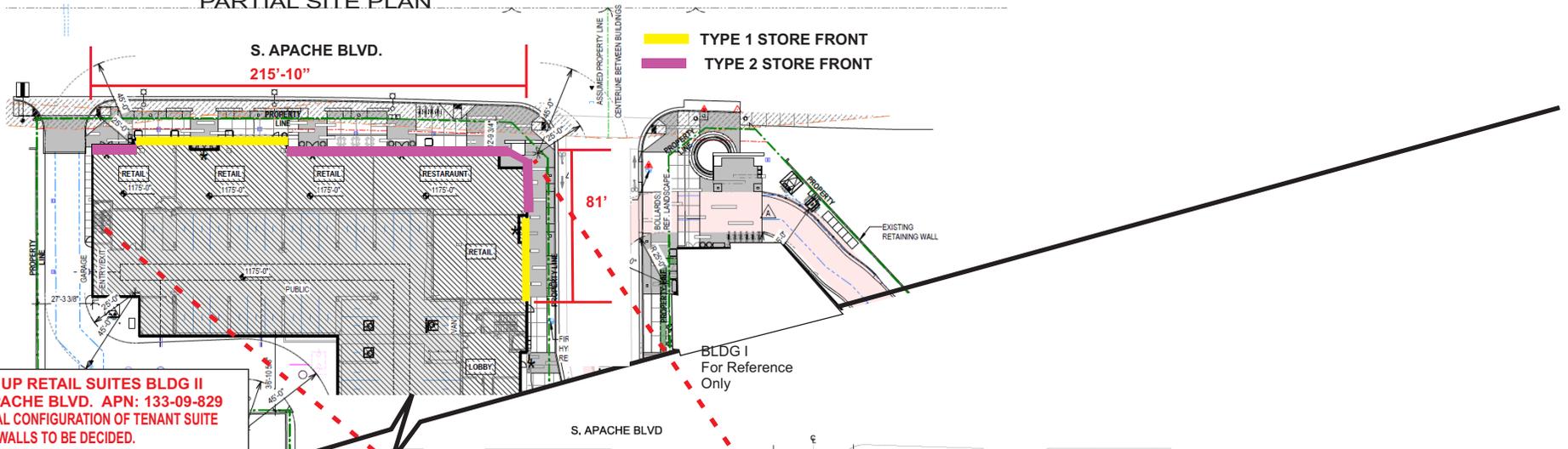
- *YELLOW DASHED LINE INDICATES SIGN ENVELOPE AT TYPE 1 STOREFRONT - 36" HEIGHT
- *RED DASHED LINE INDICATED SIGN ENVELOPE AT TYPE 2 STOREFRONT - 37" HEIGHT
- *PURPLE CLOUDED AREAS ARE APPROX. BLDG. WALL LOCATIONS FOR FLAG MOUNT SECONDARY SIGNAGE.
- *NOTE: MAX. SIGN HEIGHT ALLOWED IS 80% OF ENVELOPE HEIGHT-1 LINE OR STACKED



**PARTIAL EAST ELEVATION
BLDG II**

PARTIAL SITE PLAN

TYPE 1 STORE FRONT
TYPE 2 STORE FRONT

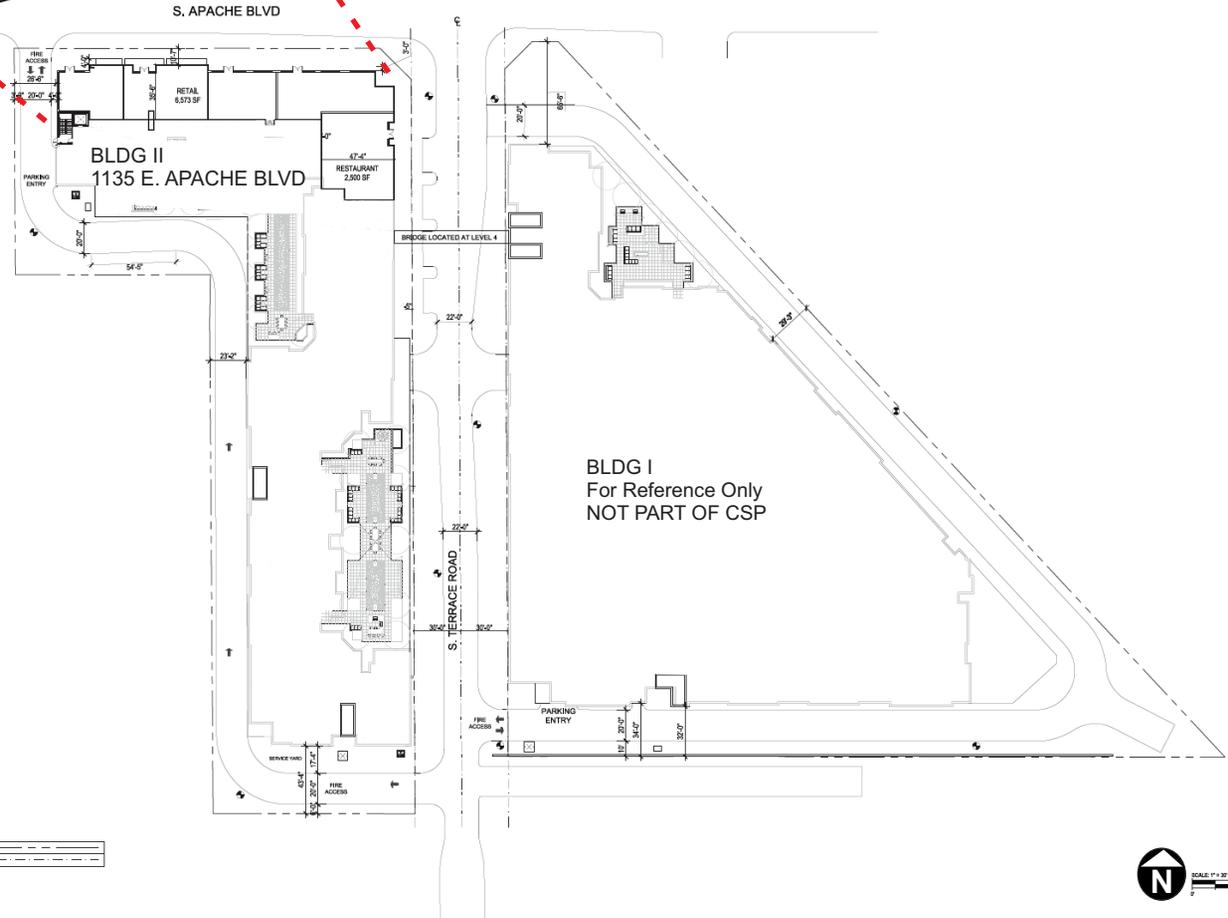


CLOSE UP RETAIL SUITES BLDG II
1135 E. APACHE BLVD. APN: 133-09-829
NOTE: FINAL CONFIGURATION OF TENANT SUITE
DEMISING WALLS TO BE DECIDED.

PARK PLACE BLDG I & BLDG II OVERALL SITE PLAN



Craft Master Sign
CORPORATION
Contact: JIM HANSON
1725 W. Williams Dr. Ste 50
PHX, AZ 85027
O: 602-484-9588
jim@craftmastersign.com



PROPERTY LINE	---
R.O.W	---

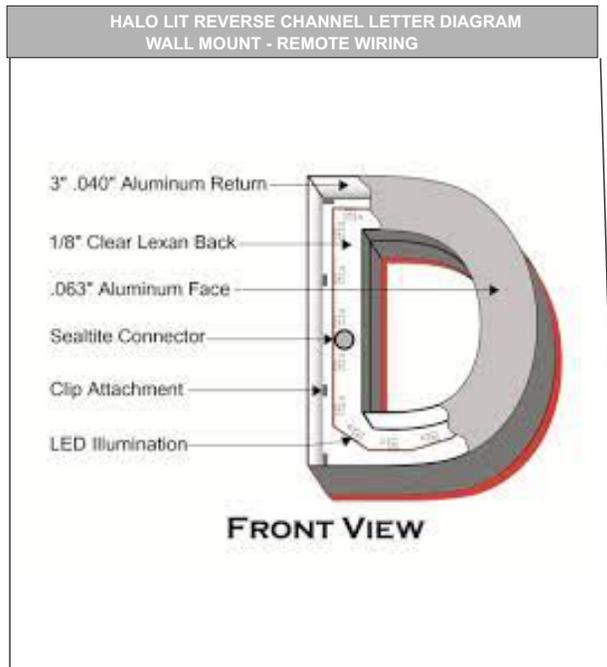
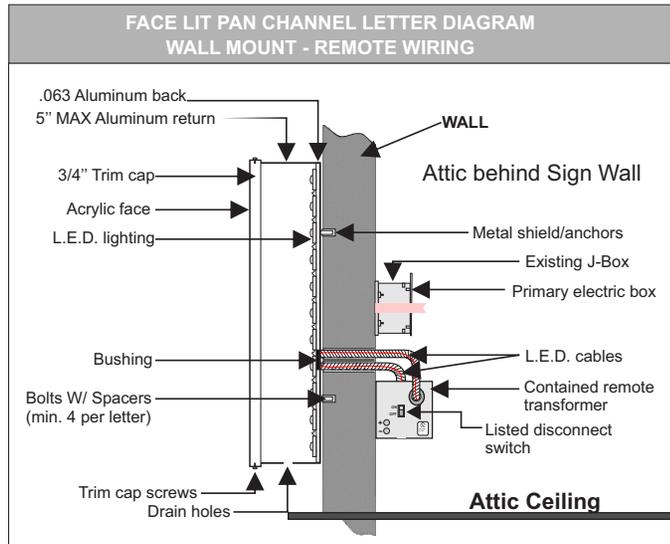


SITE PLAN / FLOOR PLAN - PARK PLACE - BUILDING II CSP 7

05 03 2021
SCALE: NA



PRIMARY ID SIGN TYPES/EXAMPLES

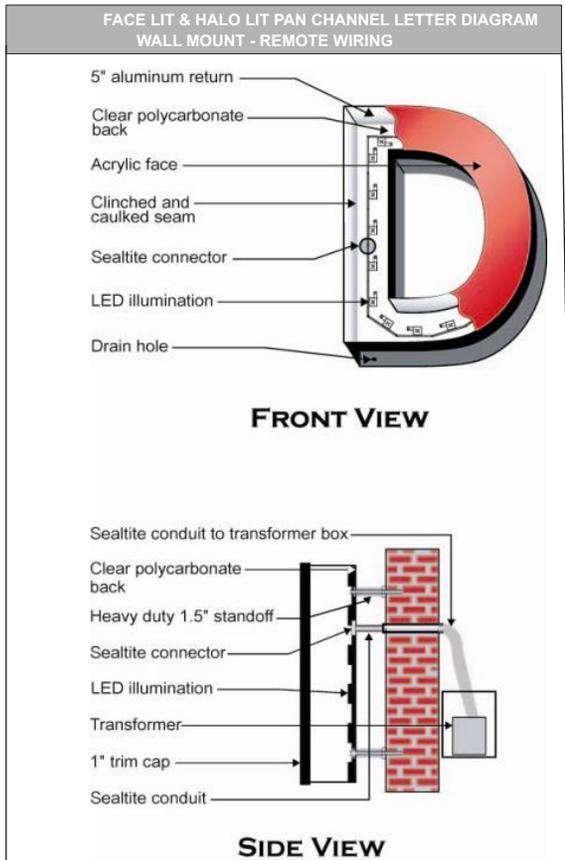


NOTE: THIS SIGN TYPE REQUIRES A BACKER PANEL BE ADDED AT TYPE 2 STOREFRONT

SIGN TYPES

05 03 2021
SCALE: NA

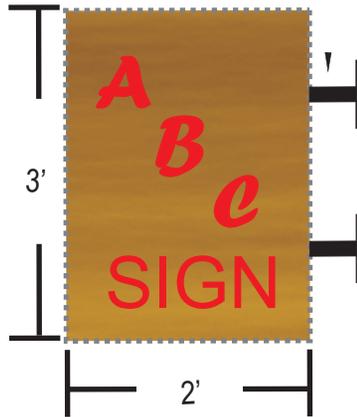
PRIMARY ID SIGN TYPES/EXAMPLES



NOTE: THIS SIGN TYPE REQUIRES A BACKER PANEL BE ADDED AT TYPE 2 STOREFRONT

SECONDARY WALL MOUNT/PROJECTING SIGN TYPES/EXAMPLES

EXAMPLE - WALL MOUNTED ROUTED, PUSH-THRU
MAXIMUM 6 SQ. FT., SAMPLE DIMENSIONS



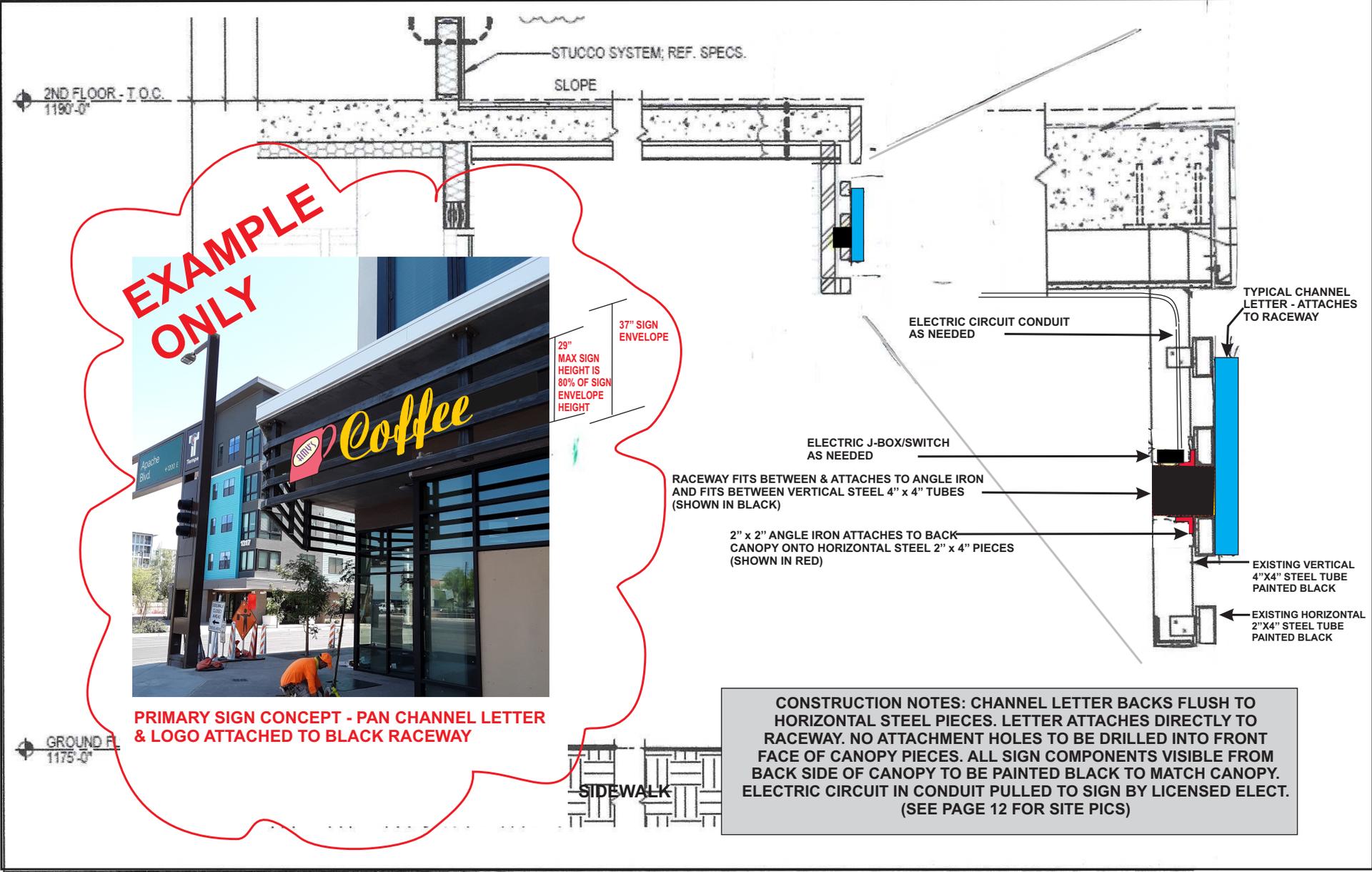
NOTE: Minimum 8 ft clearance to bottom of any hanging sign. This sign type is not to exceed 6 sq ft. and 3 ft max. projection. This sign type may require stamped engineering.



EXAMPLE - WALL MOUNTED
ROUTED, PUSH-THRU

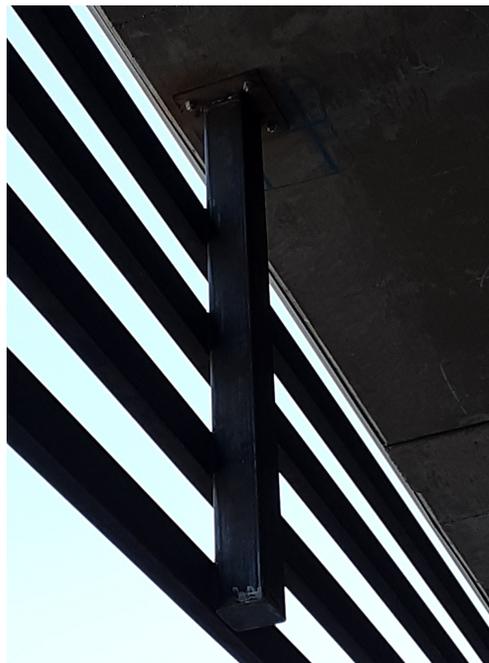
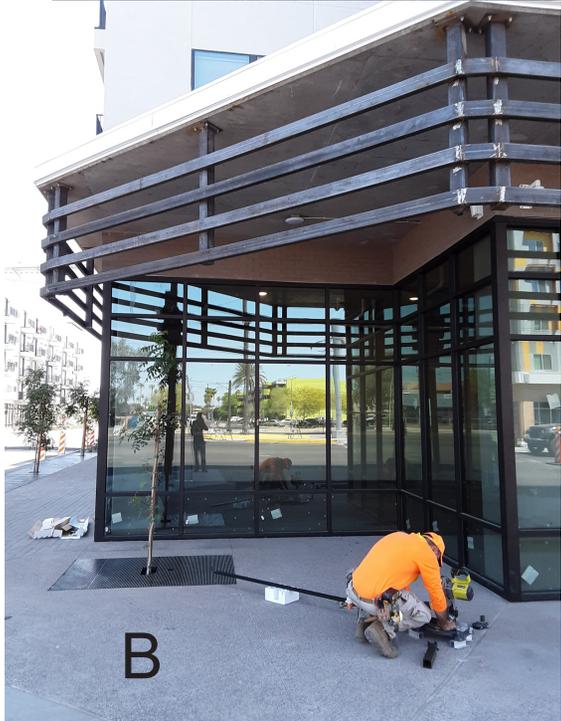
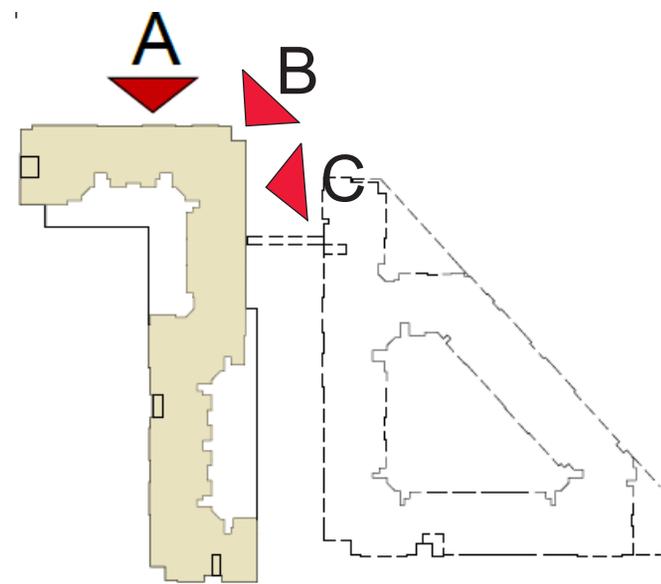


CHANNEL LETTER/RACEWAY DETAIL AT STORE FRONT TYPE 2



DETAIL AT STORE FRONT TYPE 2

05 03 2021
SCALE: NA



BACK SIDE OF HANGING CANOPY

STORE FRONT TYPE 2 PHOTOS

05 03 2021
SCALE: NA