

# TEMPE CORNERSTONE

## COMPREHENSIVE SIGNAGE PROGRAM

November 12, 2021 (v2)



Created by



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## **TEMPE CORNERSTONE**

705-725 South Rural Road  
920-960 East University Drive  
Tempe, Arizona 85281

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In the 1990s, Tempe Cornerstone (TC), a 1980s mixed-use project, underwent a major remodel by adding large steel sign bands and other architectural detailing to the facades of the main buildings. Oversized stucco cornices and other stucco banding were also added in an attempt to add retail flair and enhance the readability of signage. That design work is now recognized as belonging to another era, not reflective of current tastes or market demand.

Taking cues from the recent Trader Joe's renovation, the facades of buildings 725 and 920/930 will undergo similar modernization, by first stripping away many of the 1990s add-ons and simplifying the color and material palette used. The end result will be a center that regains some of the character of the original design and brings an edgier, industrial-chic aesthetic to this major corner.

Replacement of the current perforated steel sign bands with simple I-beam steel eyebrows will underpin this aesthetic by playing off the earthier tones of the original masonry walls and columns. Steel angles will replace the heavy cornice work. Cantilevered steel beams will reach out toward the intersection, reinforcing the strong geometry of the buildings while creating dynamic spatial markers. Standing seam roofing will remain, with a new gray paint finish to complement the scheme.

Sign bands have been designated for all building elevations, with specific types of signs allowed for placement within those bands. See the elevations drawings on pages 11-19 for additional information.  
xx



Existing Condition - East Elevation



Existing Condition - West Elevation

- Remove arched element and all foam cornices
- All perforated metal sign bands to be removed.



Proposed Improvements East Elevation

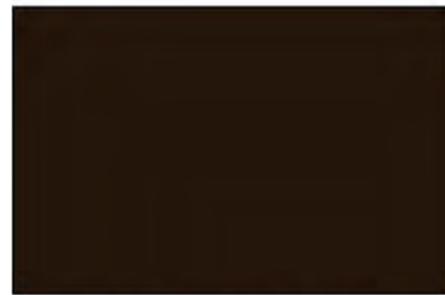


Proposed Improvements West Elevation

- New cornice fabricated from steel components - see structural details
- Existing stucco surface - new finish and color - remove reveals.
- New framed raceways with stucco finish. 8" pop-out by 24" tall, typical. (These will be the sign mounting areas)
- Existing handrails - new paint
- New light fixtures

# COLORS & MATERIALS

The material palette will consist of original and slightly whitewashed masonry (mostly at recessed façade areas), natural steel with clear coating to maintain a mill-finished look, new dark bronze anodized storefronts (where replaced), and contrasting colors of stucco in gray and off-white at two specific locations on Building 3.



**AL: Storefront and Break Metal**  
 New Kawneer Anodized Finish  
 No 40 "Dark Bronze"  
 or  
 Existing Painted  
 DE 6391 "Black Russian"



**B1: Existing Brick**  
 Cleaned



**B2: Existing Brick**  
 White Washed



**R: Existing Standing Seam Roof**  
 Painted RAL 7037 "Dusty Grey"



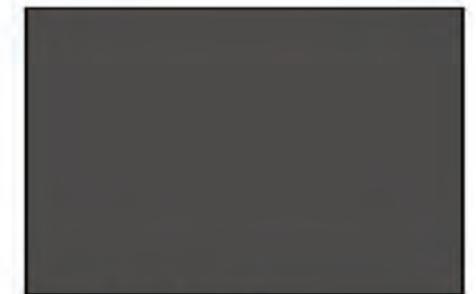
**S1: Painted Stucco**  
 DE 6376 "Looking Glass"



**S2: Painted Stucco**  
 DE 6218 "Antique Paper"

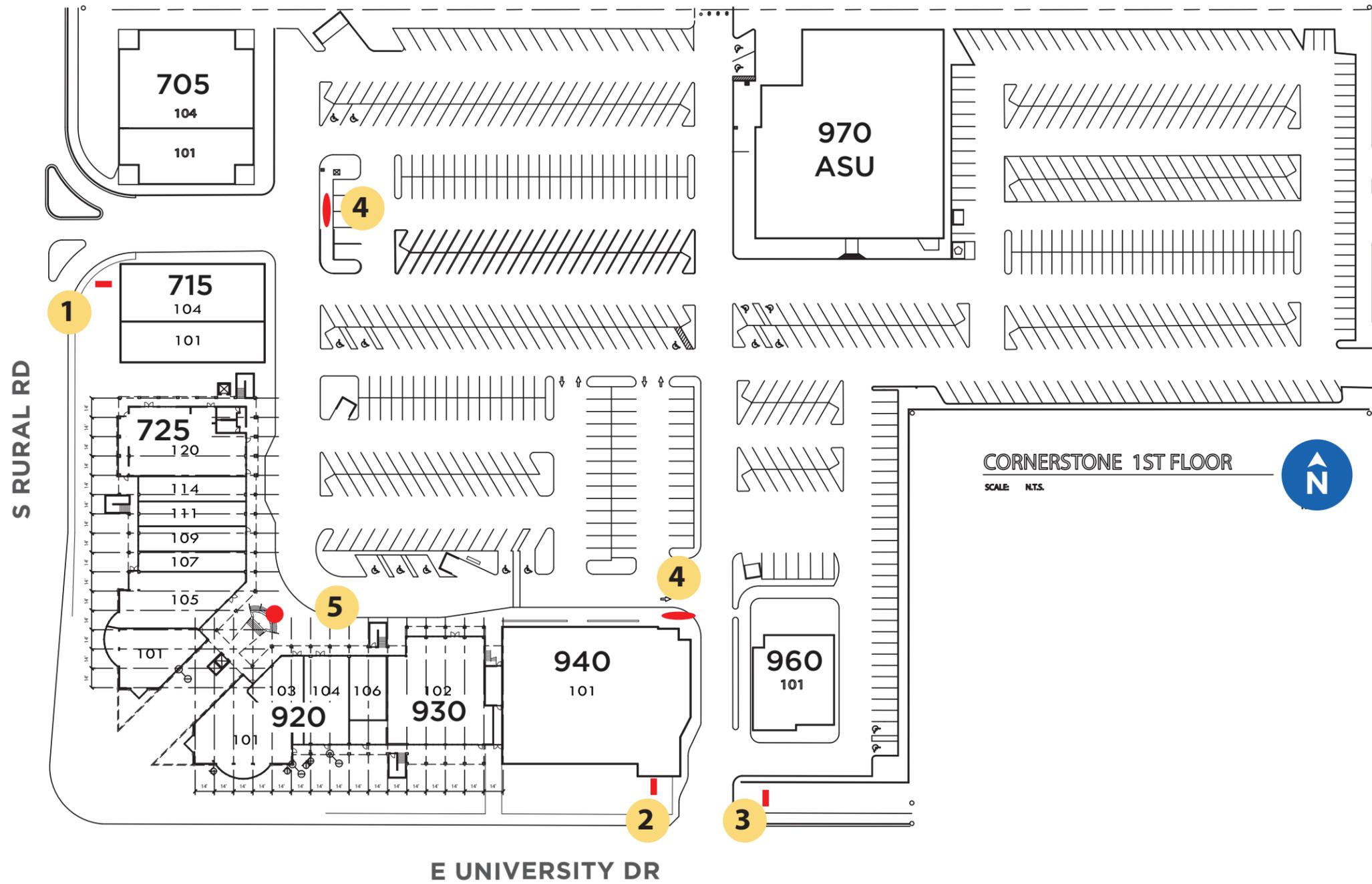


**M1: Raw Metal**  
 Clear Coat-Penetrol or Equal



**M2: Painted Metal**  
 DE 6391 "Black Russian"

# CORNERSTONE FREESTANDING SIGN PLAN



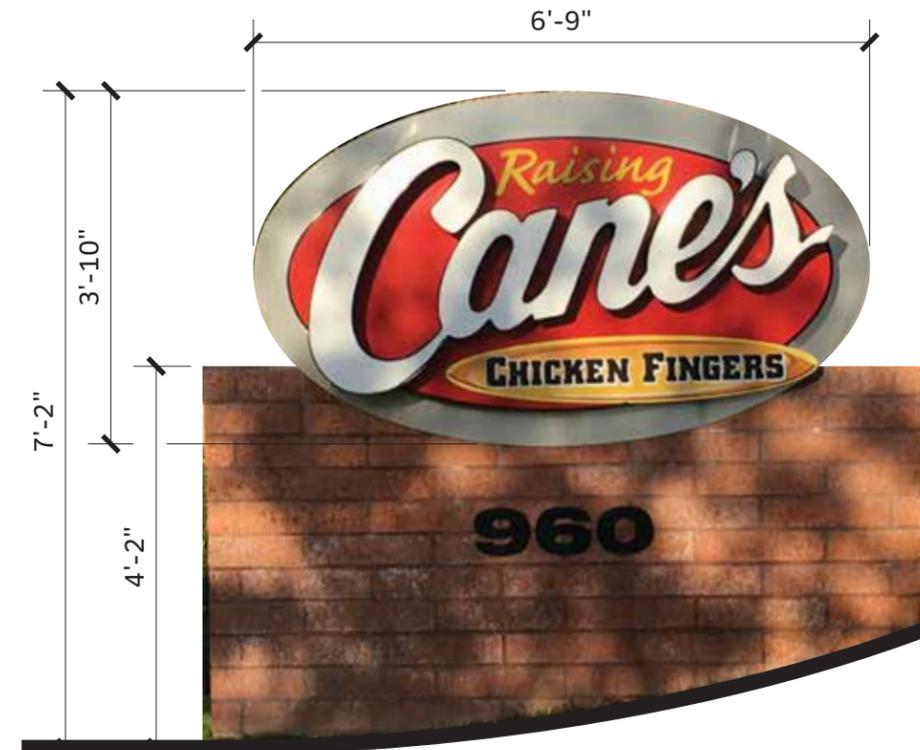
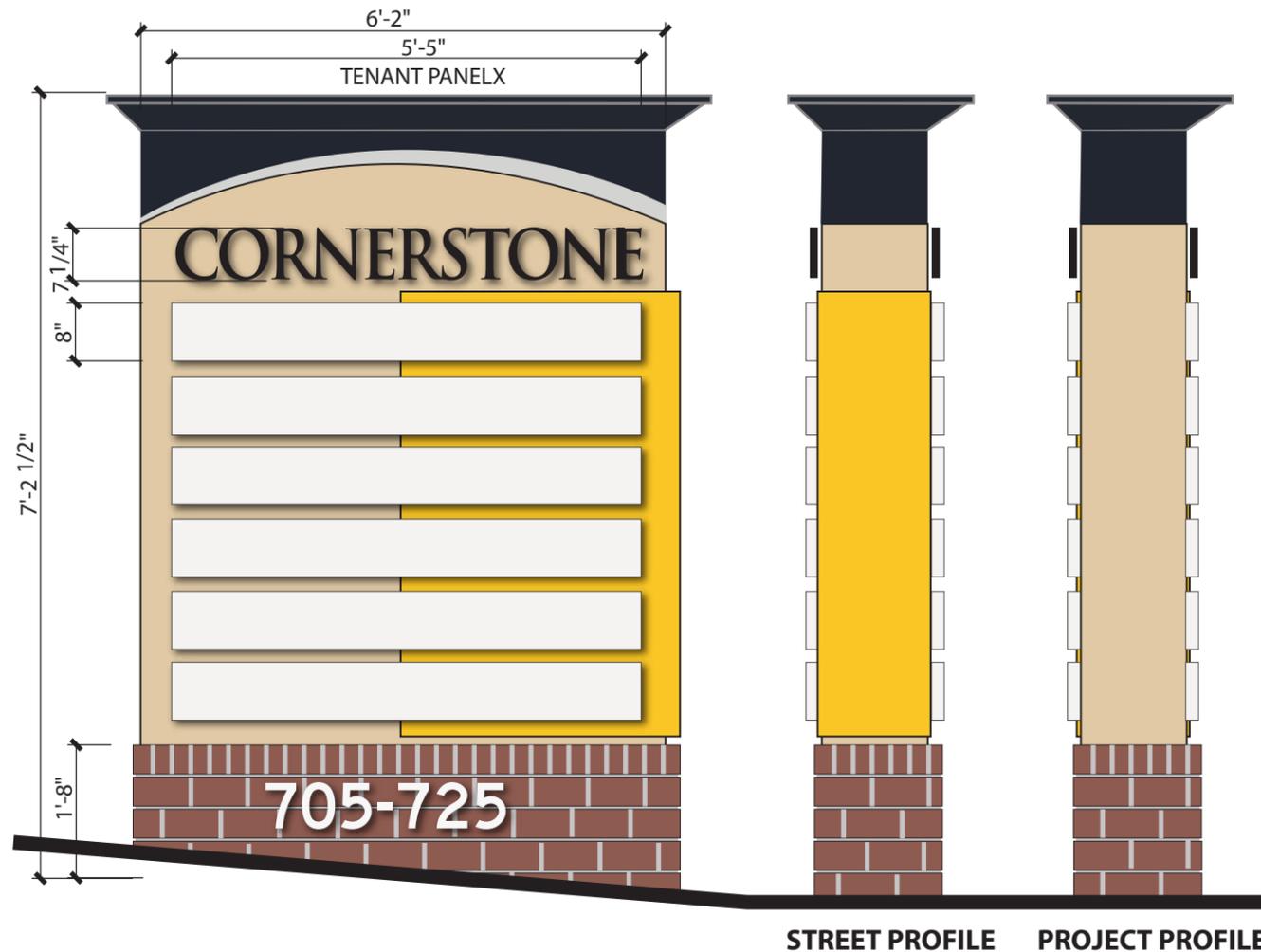
## FREESTANDING SIGN LEGEND

- 1. Tenant Monument, Rural Road (Existing)
- 2. Tenant Monument, University Drive (Existing)
- 3. Raising Cane's Monument (Existing)
- 4. Wayfinding Directionals (2) - FUTURE
- 5. Pedestrian Directory (Existing)

### Area Location



**EXISTING FREESTANDING SIGN EXHIBITS**



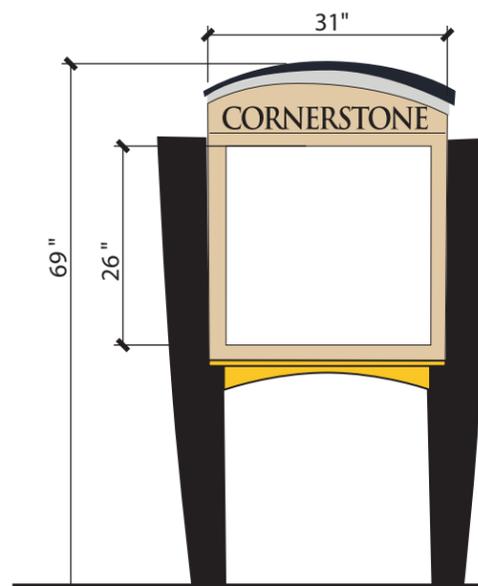
**1) RURAL ROAD, 2) UNIVERSITY DRIVE TENANT MONUMENTS**  
SCALE • 1/2" = 1'-0"

**3) RAISING CAIN'S MONUMENT**  
SCALE • 1/2" = 1'-0"

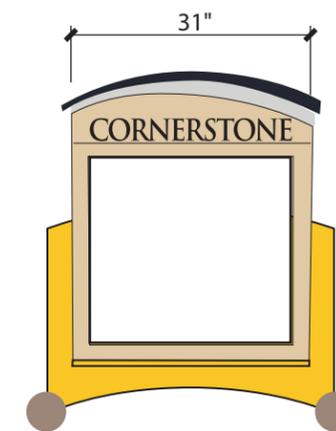
ALL TENANT PANELS SHALL BE OF SAME BACKGROUND COLOR.

TENANT'S MAY USE THEIR CORPORATE COLORS IN LETTERING AND LOGO APPLICATION OF SURFACE APPLIED TRANSLUCENT VINYLs - HIGH GRADE QUALITY FOR LONGEVITY.

**THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE AMENDMENT TO THE CSP.**



**FREESTANDING DIRECTORY**  
SCALE • 1/2" = 1'-0"



**WALL MOUNTED DIRECTORY**  
SCALE • 1/2" = 1'-0"

**A1 AWNING GRAPHICS**

Awning graphic signs are considered to be a non-rigid surface (fabrics) over steel or aluminum structure, suspended off the building fascia, typically over windows and doors.

Signage and graphics are mounted parallel with the building frontage either on the valance or the awning part itself. Based on the awning location, signage and graphics on end panels are allowed within city code standards.

Awning signs may be painted, silk-screened, custom stitched, or can incorporate dimensional signage elements.

Awning structure may only be indirectly illuminated, not uplit or internal. Dimensional signage, medallion signage applied to the awnings may follow standards for individual letters allowed otherwise. Graphics shall meet City of Tempe signage ordinances with a maximum of 50% coverage of the awning or valance.

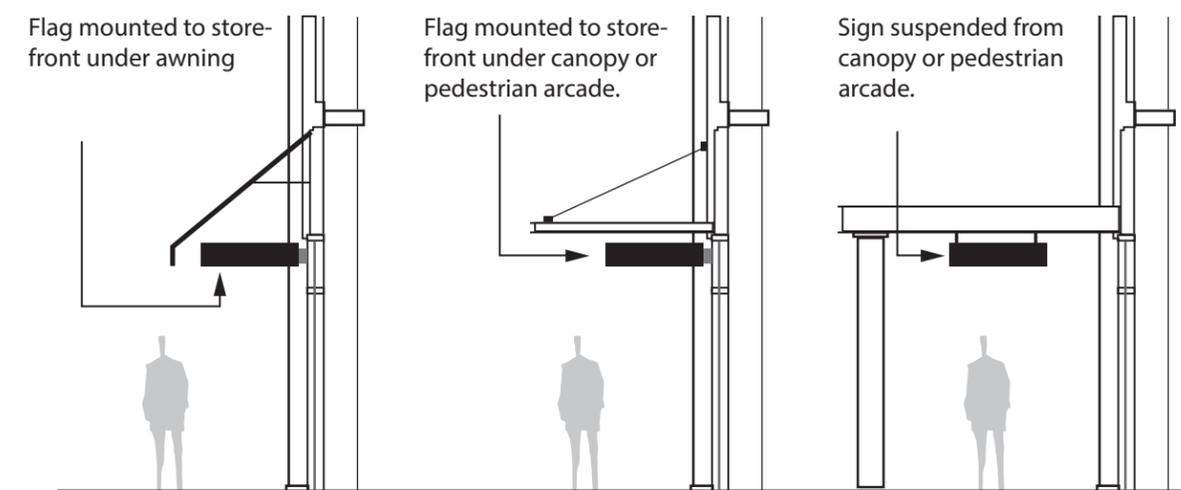
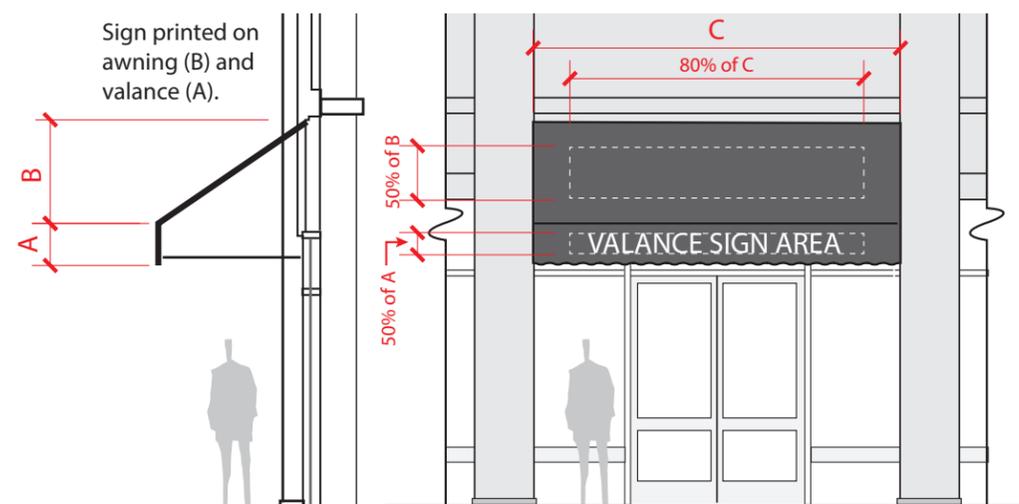


**A2 PEDESTRIAN HANGING SIGNS (ARCADE)**

Where there are covered walkway areas, these signs hang or flag mount off tenant storefronts oriented to the pedestrian, and are located at the primary public accessible entry.

Within the Commercial Plaza, tenants may create their own unique frame that shall be within the context of their storefront's architecture and their recognized corporate identity and design theme, subject to approval of the Committee.

All arcade type signs are oriented perpendicular to the tenant store front with a minimum 8'-0" clearance from walkway.



**B1 ARCHITECTURAL BEAM SIGNS**

To minimize penetrations to the building architecture, "C" Channel beams have been installed to facilitate mounting most of the tenant signs.

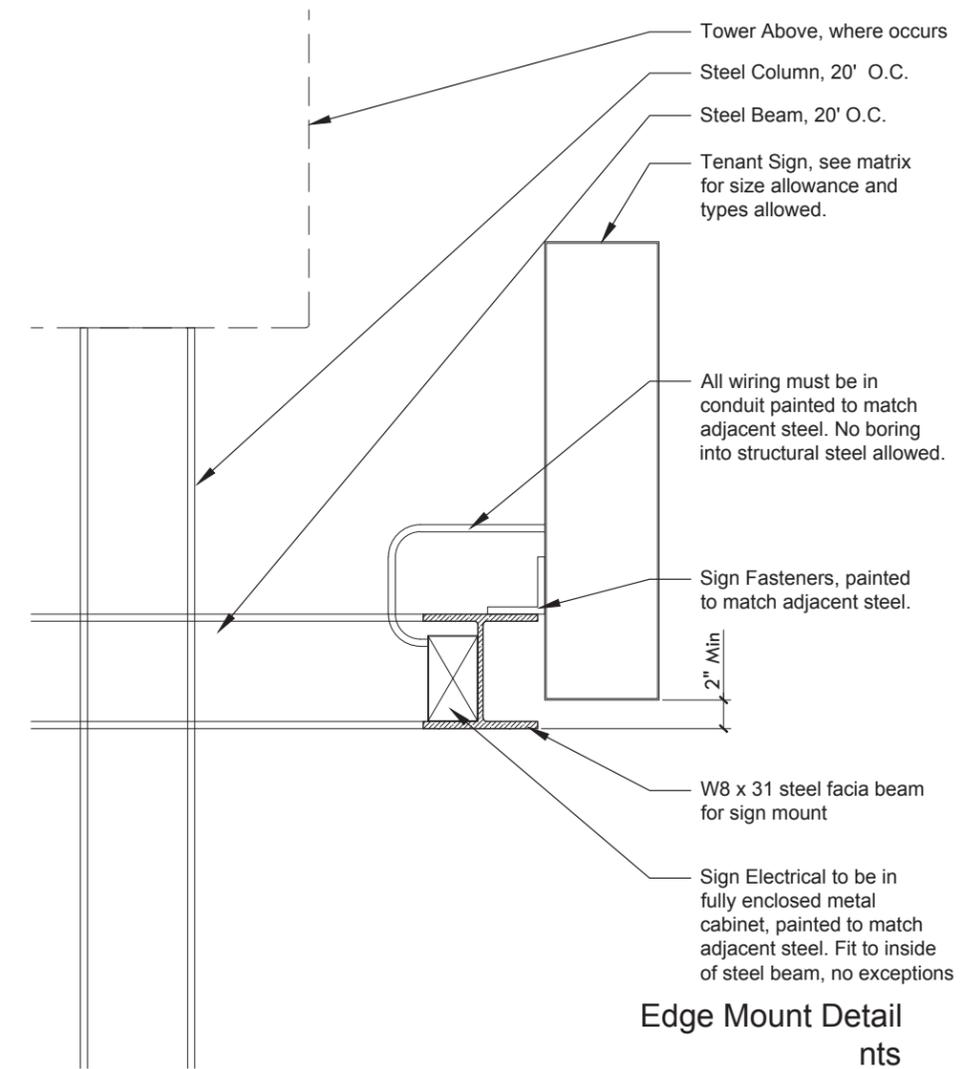
The signs will be mounted parallel with the building either on the top ledge and/or along the front edge of the beams.

Signage may be individual letters or medallion signs utilizing raceways behind the beams, with non-exposed mounting, unless part of the overall integral theme/design of the brand and sign.

Illumination shall be internal, and may include halo or back lighting, as is appropriate to the design and location on the building facade.



Ledge mounted background cabinet with individual internally illuminated letters.



Mounting section detail for A1 Architectural Ledge Signs.

**B2 MEDALLION SIGNAGE**

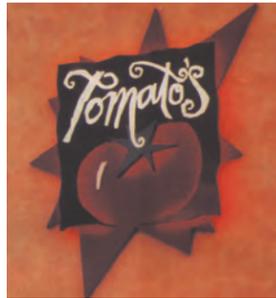
Medallion, or custom integral signs, are to be used in building locations where the "C" Channel beams are not available or practical for use.

These signs should be designed and fabricated with a minimum of two (2) distinct graphic planes, each at least one inch (1") deep, but should not exceed 12" in depth.

These can recess and/or extrude to create the three planes. Planes must be a minimum of 80% opaque and/or contrasting in color, texture, or material from one another to create depth and dimension. The depth shall be proportional to the signage and the architecture.

Unless as part of a nationally registered and/or trademarked logo, rectangular shaped "cabinets" are highly discouraged.

Custom cabinet can be either internally, halo and/or indirectly illuminated, or a combination thereof.



Custom shaped cabinets with dimensional elements, routed copy with internal and halo illumination.



Individual pan channel letters "extruding" from the face with routed and acrylic backup tag line in round pan-shaped cabinet.

**B2.1 PROJECTING SIGNS / VERTICAL CABINETS**

Similar in construction and illumination to custom cabinets, these signs feature a vertical format, and are "flag-mounted" to the side of the building.

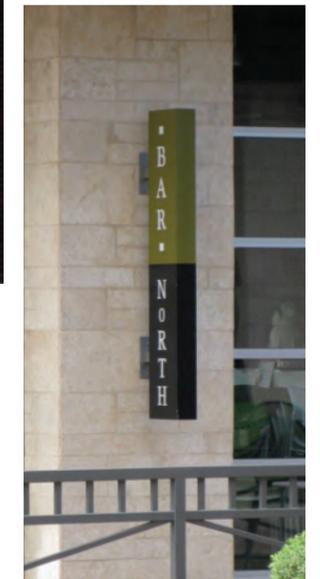
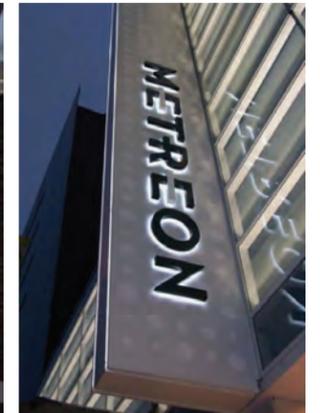
These signs are not typically allowed in a strip mall type development, but are appropriate for PAD, single user buildings or tenants within the Commercial Plaza and based on the building design.

Designs can be vertically or horizontally oriented, should be three-dimensional in nature applying multiple planes of materials, lettering and illumination options.

Mounting brackets should be decorative elements of the overall design.

Orientation can also be single or double faced based on the installation location and architectural /structural opportunities.

Such signs may not extend beyond two feet from the building wall.



Individual 3-dimensional letters mounted to building corner; various vertical blade cabinets.



Frying pan shaped background with dimensional logo graphics, routed name and custom industrial bracket.

**B3 RACEWAY ON WALL**

When individual letters do not have appropriate access for electrical or installation, or the background surface is not conducive for repairs, the use of raceways are recommended for various elevations throughout the project (as noted). Various construction methods are acceptable to accommodate the diversity of Tenants' brand standards.

**Allowable Designs**

- Raceways that are hidden behind a continuous cut out that follows the shape of a logo and typestyle.
- Raceways may also be designed to encompass the least amount of lettering area combined into one unit as a large self contained element.
- Continuous (typical) raceways are allowed when used to inset into the architectural exposed structure. Raceways shall be painted to match the beams.

**Illumination**

- Shall only be internally illuminated for the individual letters. If the background raceway is an integral cabinet or graphically integral to brand design, it can be halo illuminated to define the overall signage area.
- If located at the base, up lighting within the raceway can be used to create a glow behind the letters. Light shall not shine above the height of the letters/logo elements.
- Any halo illumination shall be shielded.



Custom shaped backer panel that matches brand logo and typestyle, hiding a continuous raceway behind.



Individual letters and logos top mounted, flush to face of to branded tag line of similar materials for integration.



Raceway and letters integral at the base with internally illuminate logo and uplighting behind letters.

**B4 INDIVIDUAL LETTERS AND LOGOS**

Reverse Pan Channel, Pan Channels, Flat Cutout Dimensional signage is allowed in designated areas, noted on the elevations that follow.

**Construction - Dimensional**

- Channel letters and logos must be constructed with sheet aluminum returns and retainers.
- Material thickness to be a minimum .050".
- Acrylic cap or trim cap retainers used at the perimeter of sign letter faces shall match in color and finish of the face or the sides of the sign.
- Shiny plastic or neon colored trim caps are prohibited.
- Colored Plexiglas®/acrylic face pan channel letters should be a minimum 3/16" thick to provide stability and consistent illumination of color.
- Second surface painted colors will NOT be allowed. First surface applied color vinyl may be used with approval of the Committee.

**Low profile**

- Flat cut out metal letters shall be a minimum 1/2" - 1" thick being preferred.
- Letters/logos which are spaced off building face shall be installed using threaded rods or anchor bolts. Angle clips attached to letter sides will not be permitted. All mounting attachments shall be concealed, sleeved and painted.



Halo illuminated reverse pan-channel letters with secondary copy of internally and halo illumination.



Pan Channels letters, face lit.



Low Profile - Flat cut out aluminum

**MERCHANDISE AREA / WINDOW GRAPHICS STANDARDS**

Window brand and info graphics shall be limited to twenty-five percent (25%) of the storefront window and doors total area.

This includes temporary signage applications for sales, promotions and/or any permanent identification or ancillary signage.

Signage applied to storefront glass can be

- Vinyl
- Gold or silver leaf
- Professionally hand painted lettering and/or graphics done by a professional sign painter and approved by Landlord prior to application.



*Menus for take-out or eat-in restaurants, or in-store services should be within an architecturally integrated or enclosed design element.*



*Vinyl application*



*Hand Lettered*



*Gold Leafing*

**WINDOW BLOCK-OUT GRAPHICS**

Product and branding graphics shall be limited to twenty-five percent (25%) of the overall graphics applied to non public accessible doors and back of house windows of a suite.

Graphics can be:

- Lifestyle graphics of use of tenant product
- Product images within suite without branding
- Opaque for security or back of house uses

**TEMPORARY SIGNS**

Temporary signs shall not create a traffic hazard; shall not be placed in a traffic medians, public sidewalks, private drive and parking lots, city rights of way along roadways, bicycle paths, or ADA accessible areas.

Permits are required for all temporary signs, banners or grand openings, special events, special offers. Refer to city code for restrictions.

**A-Frame / Sandwich board / Portables**

A-frames shall not exceed five (5) feet in height and eight (8) square feet in area. Only one (1) allowed per tenant suite frontage.

Must be located within three (3) feet of leased building or approved outdoor patio areas.

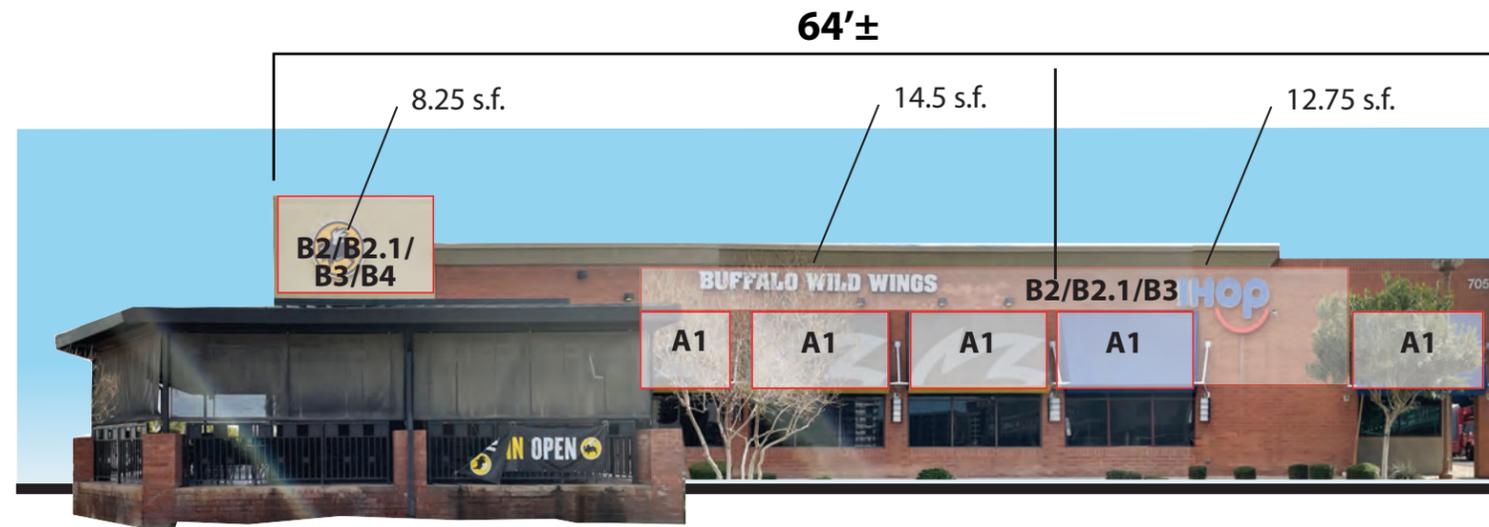
A-frames are allowed only during business hours and shall not be left out overnight.

**Banners/Pennants**

Any banner, pennant, wind-driven spinners, streamers, balloons, or inflatable signs shall not exceed eight (8) feet in height, and shall not be within public access for vehicular or pedestrian traffic.

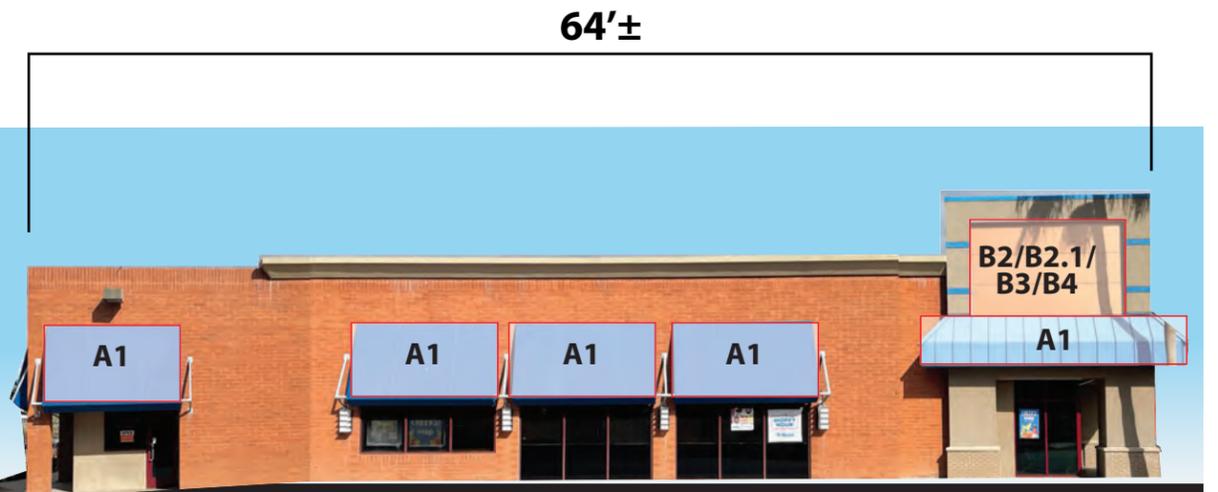
All new businesses are allowed one (1) such sign, one time only for a thirty (30) day period, all other businesses are allowed twenty-one (21) cumulative days per six (6) month period in a calendar year.





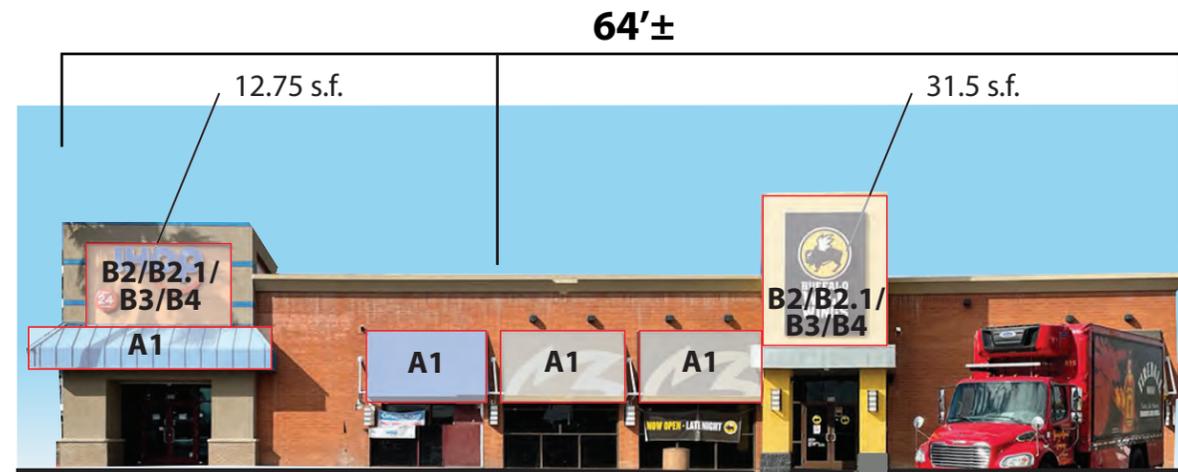
**West Elevation**

SCALE: 3/32" = 1'-0"



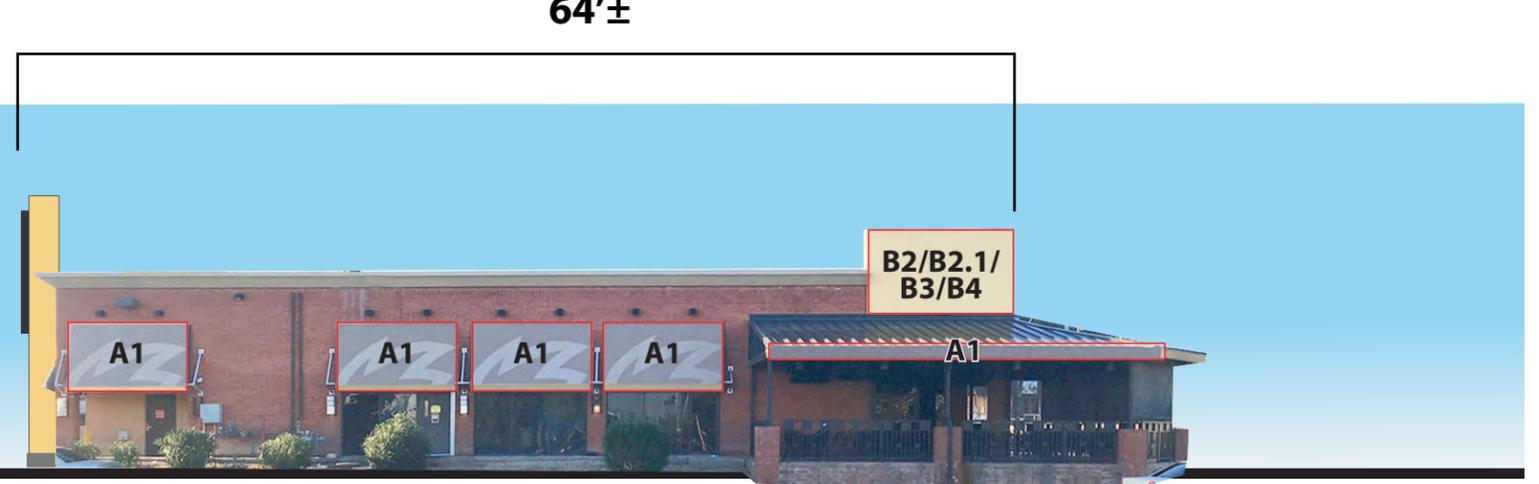
**South Elevation**

SCALE: 3/32" = 1'-0"



**East Elevation (Interior)**

SCALE: 3/32" = 1'-0"



**North Elevation**

SCALE: 3/32" = 1'-0"

THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.

**Sign Envelope Key**

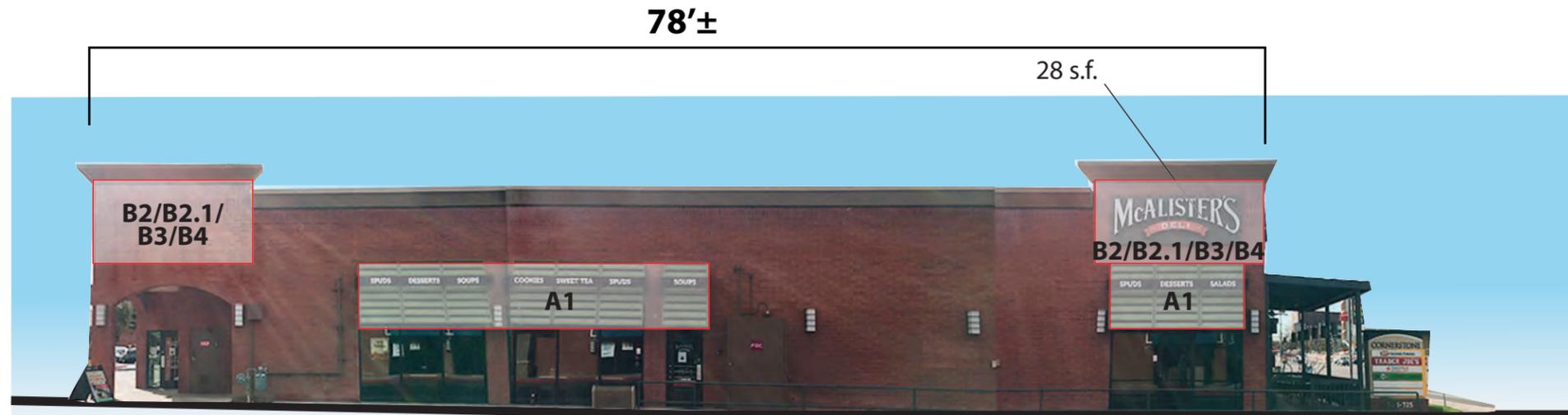
- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo

**BUILDING 715 NORTH RURAL ROAD -**

Existing signage with permits

**THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.**

**BUILDING / SIGNAGE ELEVATIONS**

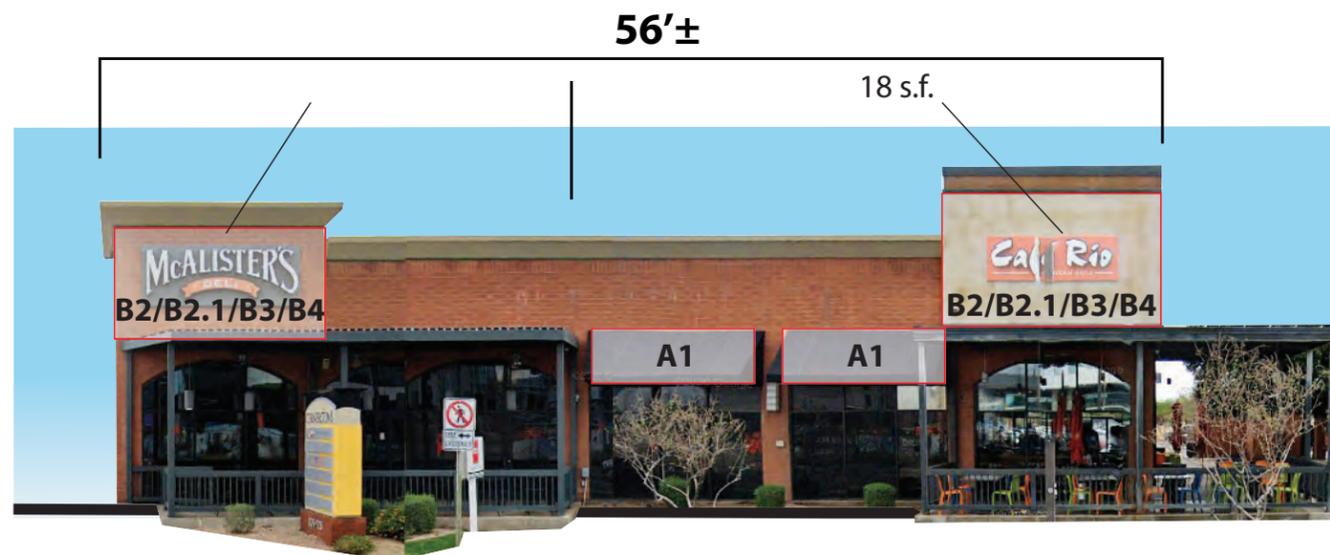


**North Elevation**

SCALE: 3/32" = 1'-0"

**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo



**West Elevation**

SCALE: 3/32" = 1'-0"



**East Elevation**

SCALE: 3/32" = 1'-0"

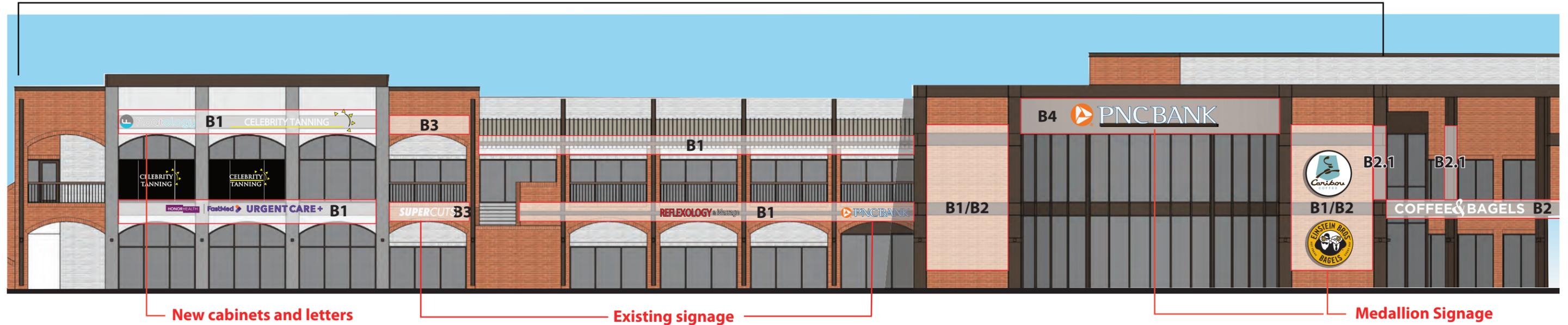
**BUILDING 725 NORTH RURAL ROAD -**

Renovated building elevations

THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.

**BUILDING / SIGNAGE ELEVATIONS**

218' ±



**West Elevation**

116' ±



**North Elevation**

Conceptual Elevations

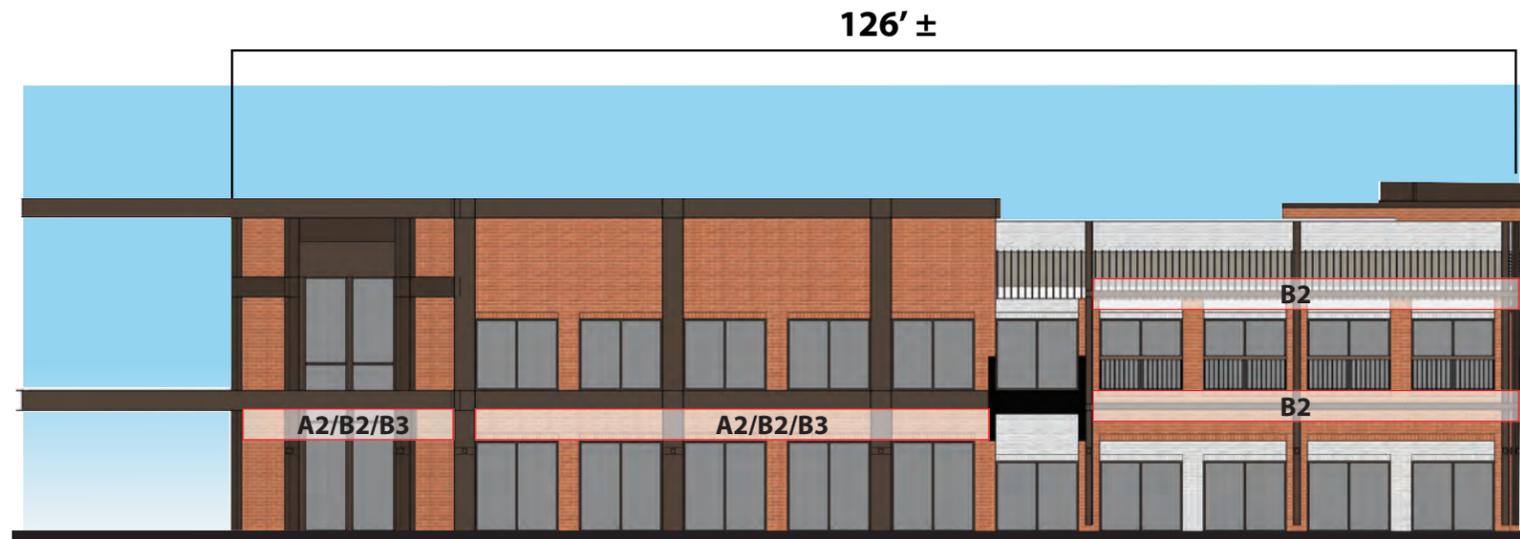
SCALE: 1/16" = 1'-0" | 0' | 8' | 16'

**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo

Renovated building elevations

THESE SIGNS WERE PREVIOUSLY APPROVED UNDER  
SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.



**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo

**East Elevation (Corner Interior)**

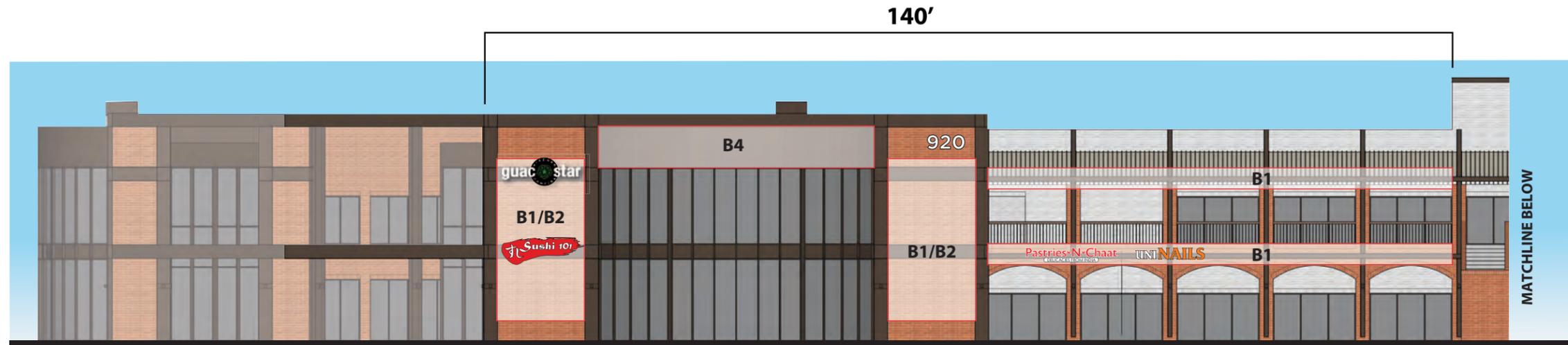


**East Elevation (Interior)**

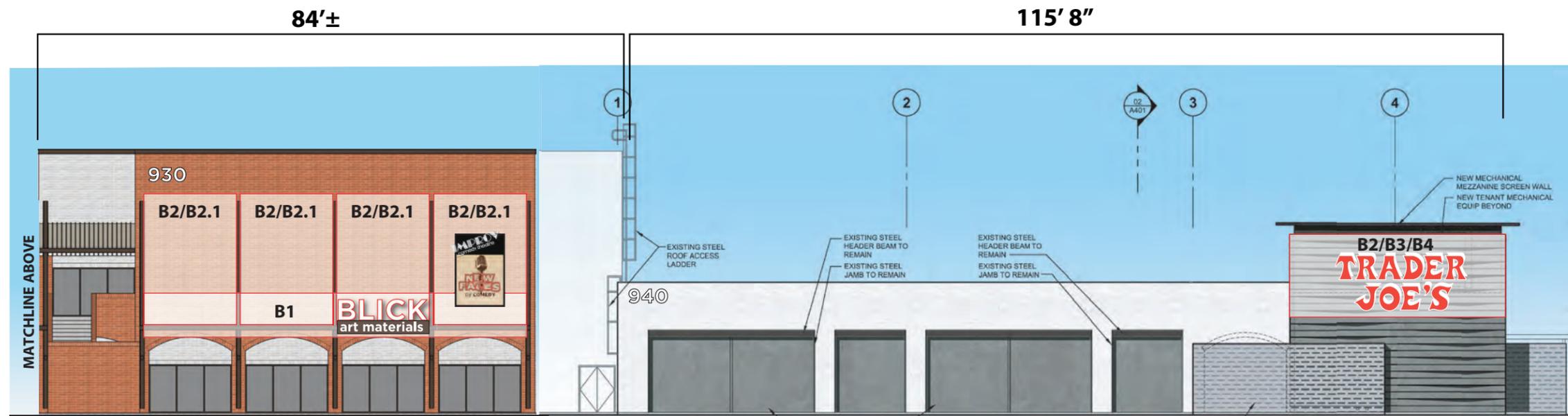
**Conceptual Elevations**

SCALE: 1/16" = 1'-0" | 0' | 8' | 16'

THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.



South Elevation



South Elevation

Conceptual Elevations

SCALE: 1/16" = 1'-0" | 0' | 8' | 16'

Sign Envelope Key

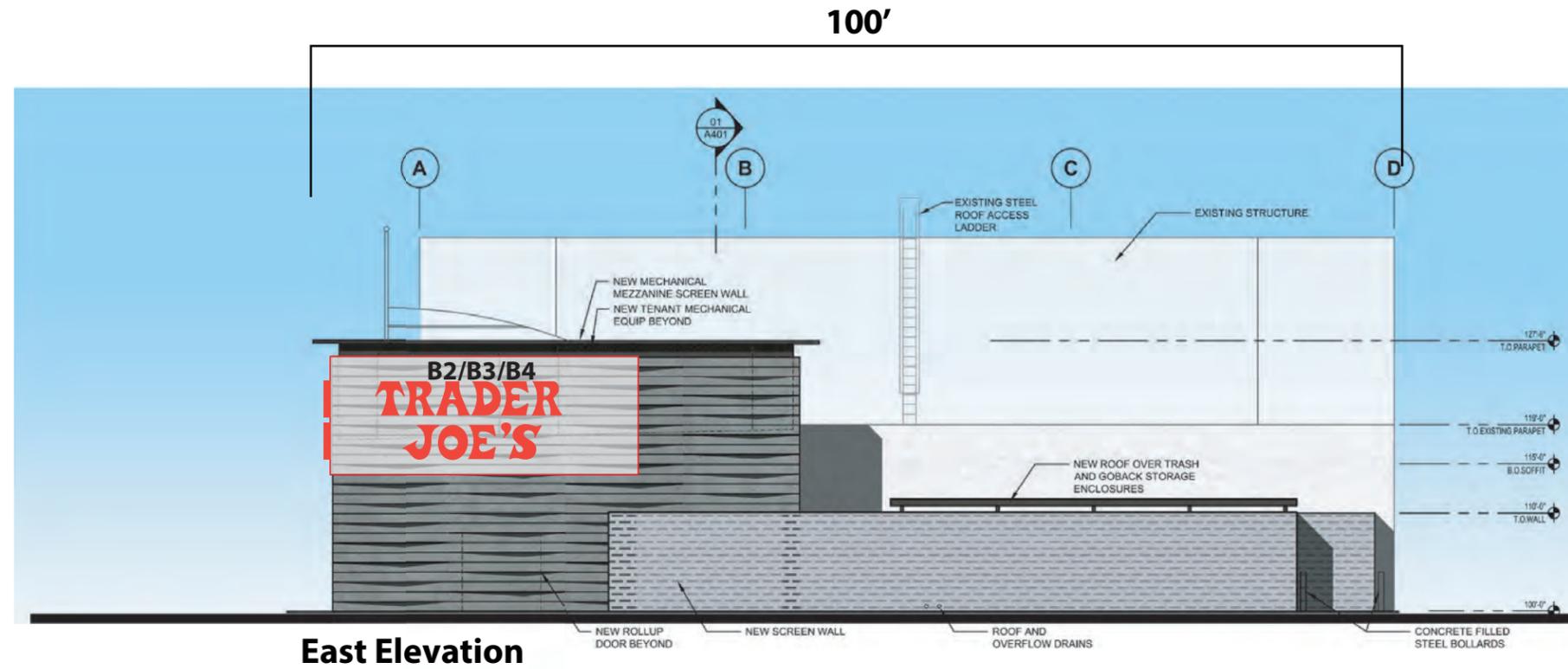
- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo

**BUILDING 940 UNIVERSITY**

Renovated building elevations

THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.

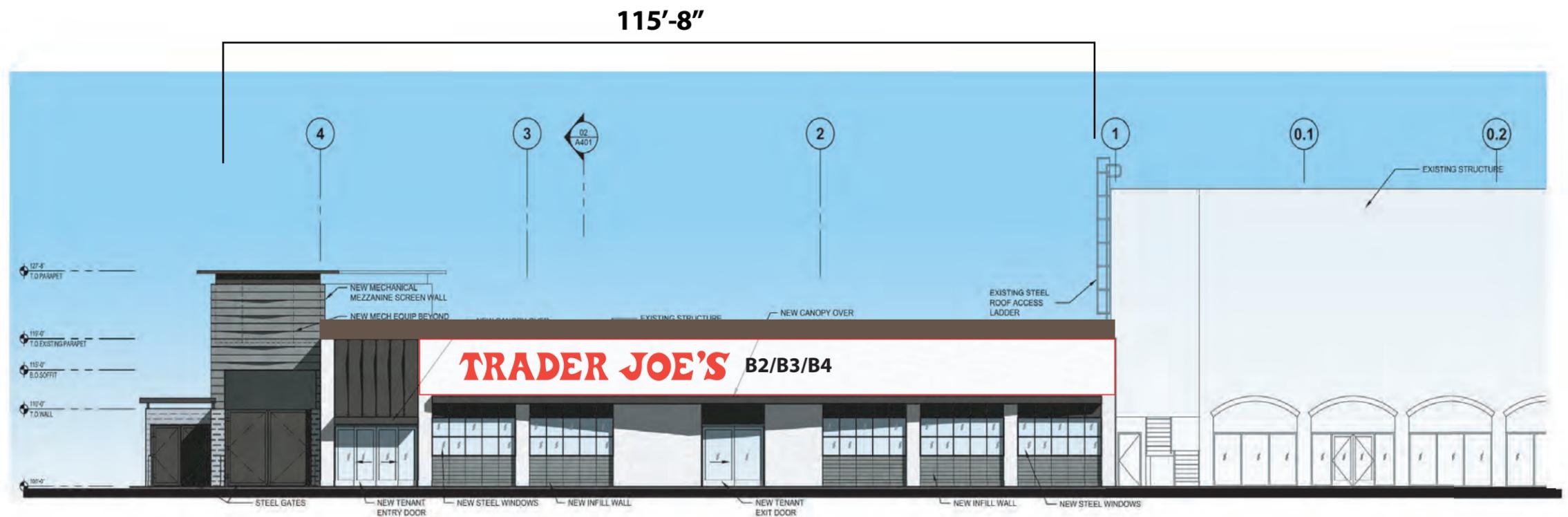
**BUILDING / SIGNAGE ELEVATIONS**



**East Elevation**

**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo



**North Elevation**

**Conceptual Elevations**

SCALE: 1/16" = 1'-0" | 0' | 8' | 16'

**BUILDING 930 & 920 UNIVERSITY**

Renovated building elevations

**BUILDING / SIGNAGE  
ELEVATIONS**

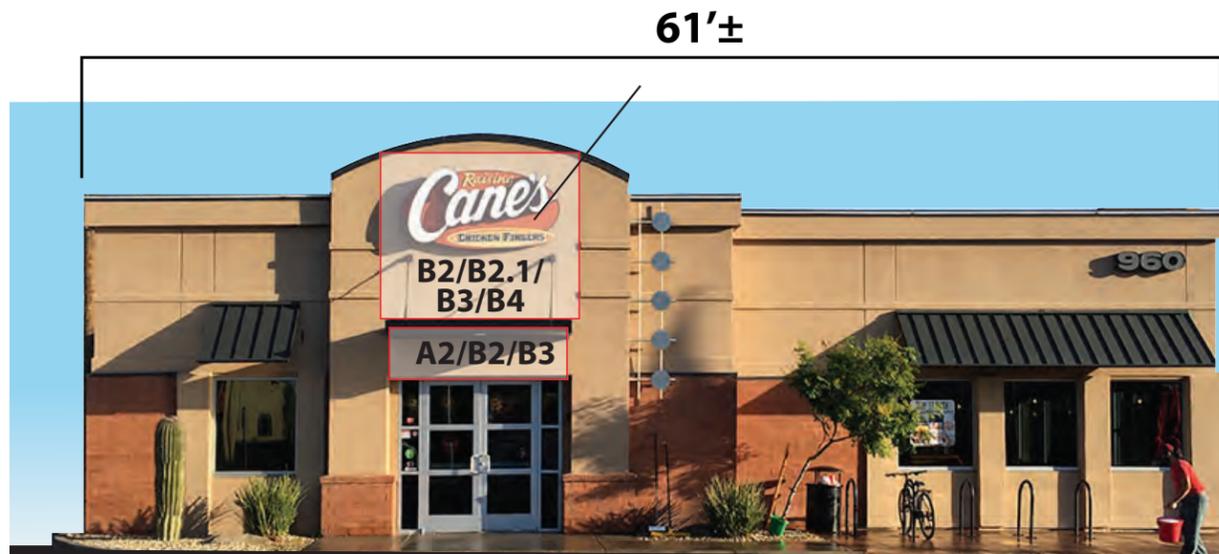
THESE SIGNS WERE PREVIOUSLY APPROVED UNDER  
SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.



**North Elevation (Internal)**

**Conceptual Elevations**

SCALE: 1/16" = 1'-0" | 0' | 8' | 16'



**South Elevation**

SCALE: 3/32" = 1'-0"



**North Elevation (Interior)**

SCALE: 3/32" = 1'-0"



**West Elevation**

SCALE: 3/32" = 1'-0"



**East Elevation**

SCALE: 3/32" = 1'-0"

**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall

**THESE SIGNS WERE PREVIOUSLY APPROVED UNDER SEPARATE PERMITS AND/OR AMENDMENT TO THE CSP.**

**BUILDING 970 UNIVERSITY**

Existing signage with permits

**BUILDING / SIGNAGE  
ELEVATIONS**

120'±



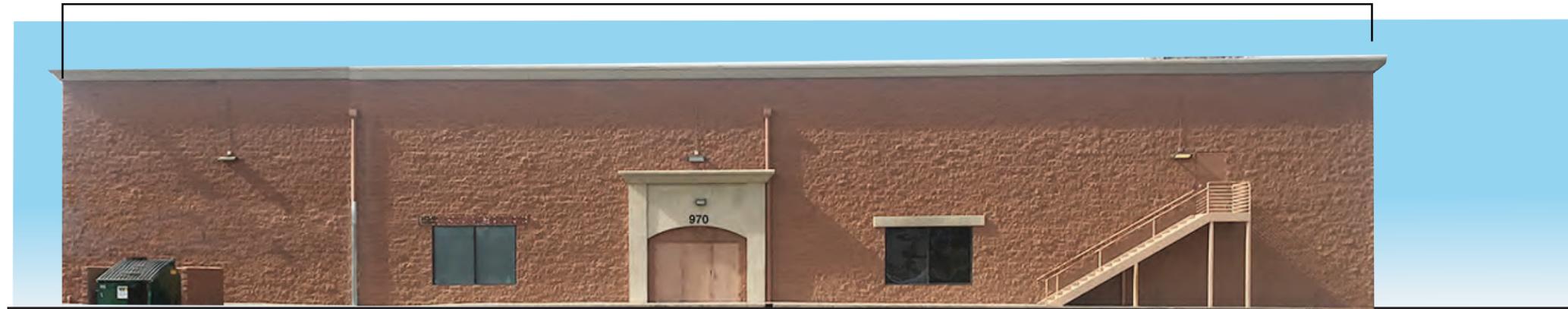
**South Elevation**

SCALE: 1/16" = 1'-0"

**Sign Envelope Key**

- A1 Awning Graphics
- A2 Pedestrian Hanging Sign
- B1 Architectural Ledge Sign
- B2 Custom Cabinet
- B2.1 Projecting Sign/Vertical Cabinet
- B3 Raceway on Wall
- B4 Individual Letters/Logo

156'±



**East Elevation**

SCALE: 1/16" = 1'-0"

156'±



**West Elevation**

SCALE: 1/16" = 1'-0"

# PERFORMANCE REQUIREMENTS

**RED DEVELOPMENT**, herein referred to as “Landlord”, shall administer and interpret the criteria. Before designing signs, all **CORNERSTONE** Tenants will receive a copy of the signage standards. Sign plans submitted to the Landlord for approval must conform to these standards and procedures. All signs must be approved in writing by the Landlord prior to city permit application or any initiation of fabrication.

## 1. Signage Approvals

Each Tenant must submit to the Landlord three (3) tabloid formatted sets of detailed shop drawings showing locations, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, methods of illumination and other mounting apparatus of all proposed wall, window, and rear door signs.

Signs that are installed without written approval from the Landlord, or that are inconsistent with approved drawings, may be subject to removal and re-installation by the Landlord at the Tenant’s expense.

This submittal must be made at least fifteen (15) days prior to submitting requests for permits or manufacturing.

## 2. Landlord Review

After review of the signage proposal, the Landlord will return one of the three sets of drawings to the Tenant, marked either “**Approved**,” “**Approved as Noted**,” or “**Revise and Resubmit**.”

- **Approved** - If drawings are marked “Approved,” the Tenant is allowed to proceed with sign construction and installation in accordance with the drawings.
- **Approved as Noted** - If drawings are marked “Approved as Noted,” the Tenant is allowed to proceed with sign construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.
- **Revise and Resubmit** - If drawings are marked “Revise and Resubmit,” the plans will be returned to the Tenant with comments. The drawings should be revised and resubmitted for approval.

## 3. Sign Contractor’s Responsibilities

Prior to preparation of signage drawings and specifications, the Tenant’s sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and verify all dimensions.

- Openings in building walls - Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings.
- Insurance - All sign contractors must carry workers’ compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor’s license in the State of Arizona.
- Developer must be named as additionally insured in the workers’ compensation and commercial liability insurance. Damage caused by or during installation
- The sign contractor and/or Tenant will pay for any damage to a building’s fascia, canopy, structure, roof, or flashing caused by sign installation.
- All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion.

## 4. Tenant Responsibilities

- The Landlord’s approval of an Tenant’s signage plan does not constitute an implication, representation, or certification by the Landlord that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations.
- Compliance with other regulations is the sole responsibility of the Tenant for all work performed on the premises by or for the Tenant.
- Tenant shall be fully responsible for the operations of Tenant’s sign contractor and shall indemnify, defend, and hold Landlord/Developer harmless for, from, and against damages or liabilities of account thereof.

# PERFORMANCE & GENERAL SPECIFICATIONS

- Tenant is responsible for obtaining all necessary sign and electrical permits prior to sign installation.

## Size

- Each Tenant shall limit the area of its sign in accordance with the area allocated for their leased space. Maximum letter height shall be 48" and a maximum of 80% the width of the leased frontage or architectural space, whichever is less.

## Quantity

- Each Tenant will be granted a minimum of one sign. Tenant’s with more than one elevation wall may have signage on each elevation.

## Labels

- No labels are permitted on the exposed surface of signs, except those required by local ordinance. Sets of individual letters shall have one label on an end letter only. These are to be installed in an inconspicuous location.

## Upkeep and Maintenance

- Each Tenant is fully responsible for the upkeep and maintenance of its sign(s), and Tenant’s are to repair any sign defects within five (5) days of notification. If an Tenant does not repair said sign(s), the Developer, at the Tenant’s sole cost and expense, may repair and/or replace sign(s).
- A penalty of 100% of the Developer’s cost to repair said signage, in addition to the cost of the repair, may be assessed to the Tenant if the Developer is required to provide the necessary maintenance due to the Tenant’s noncompliance following notification.

## 5. Prohibited signs

- Typical cabinets of Acrylic, Plexiglas®, or plastic-faced panels with surface or second-surface applied or painted graphics, internally back-lit in a standard geometric shape.
- No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted,

or affixed on any part of the buildings visible from University or Rural Road, except as specifically approved by the Landlord.

- Rude, obscene, offensive, animated, flashing, blinking, rotating, moving, electronic message boards, or audible signs.
- Placards; posters; playbills; postings; paintings; flags; signs in public right-of-way; and fixed balloons are not permitted in any location, whether or not visible from outside the premises.
- Change-panel signs are prohibited.
- Flashing, moving or audible signs.
- Luminous vacuum formed type plastic letters
- Inflatable signs or graphic devices.
- Freestanding attraction boards, posters or other permanent advertising devices.
- Paper, cardboard or Styrofoam signs.
- Signs with gold or silver plastic trim caps that contrast with letter returns.

## 6. Illumination timer

Power to illuminate the Tenant’s sign is to be from Tenant’s electricity meter, switched through a time clock set in accordance with schedules determined by the Landlord.

## 7. Landlord’s right to modify requirements

The Landlord has the right to modify the sign standards and requirements for any Tenant.

# GENERAL REQUIREMENTS

In order to maintain overall quality and uniqueness in the signage and graphics within **CORNERSTONE** the following set of standards has been developed to be applied to all exterior signage and graphic concerns, with the intent to establish a high level of quality through creativity.

These standards are not strict absolute regulations, but a guideline to promote creative, comprehensive design solutions – and exceptions for excellence will be granted by the Owner at their sole discretion.

Tenants should generate imaginative designs for their storefronts and signage with thoughtful, attractive and creative materials and graphics. Tenants are expected to express their own unique design statement within the parameters of the criteria outlined in this document. These standards shall apply to all Tenants.

National trademarked brand standards that differ from these must be approved by the Landlord Committee.

## PROJECT METRICS

The graphics standards set forth are good design practices for lettering sizes, proportions and design techniques to provide quality signage for all Tenants within **CORNERSTONE**.

The general requirements includes procedures, restrictions and stipulations which will ensure a quality development for the owner as well as the city of Tempe.

## SIGNAGE CODE

Sign types not specifically mentioned in this Tenant Criteria Section and/or this CSP (comprehensive sign package) document will default to the City of Tempe Signage Standards.

## SIGN AREA

Tenant signage within the commercial zones of **CORNERSTONE** shall not exceed an area of forty (40) square feet, plus one (1) square foot of sign area for every lineal foot of leased business frontage beyond forty (40) lineal feet.

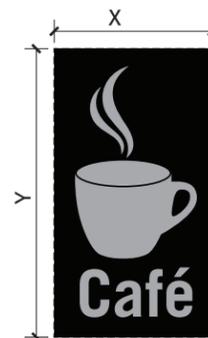
## SIGN ENVELOPES

Sign envelopes define where signs may be located on the various building walls. Signs must be confined within the envelopes as shown on the building elevations (pages 11-19). Signs shall not exceed eighty (80) percent of the width or height of the sign envelopes.

## SIGN AREA CALCULATIONS

### Individual Letters / Logos

Where there is an abundance of negative space (non-signage area), the area shall be calculated as the entire area within a single continuous perimeter enclosing the extreme limits of all graphic elements integral to the identity, or used to differentiate the sign from the background against which it is placed.



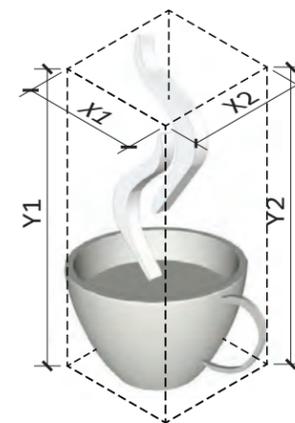
## Defined Background Or Custom Cabinets

Approved custom shaped cabinets with multiple layers creating a single form shall be the sum of the area of the sides of the smallest four-sided polyhedron that will encompass the sign structure. Circular or oval graphics will be calculated as the height x width x 3.14159. ( $\pi r^2$ )



## 3-D / Freeform

Sign area of spherical, free-form, sculptural and other non-planar signs is calculated as fifty percent (50%) of the sum of the area of the four (4) vertical sides of the smallest cube that will encompass the sign.



## SIGN LIGHTING

All tenant signage to have adequate illumination for night time visibility. Signs must be internally illuminated. All lighting components (eg. LEDs, neon etc.) should be selected as appropriately meeting the intended illumination purpose, design intent as well as for the specific installation

# PERFORMANCE & GENERAL SPECIFICATIONS

environment and in strict accordance with the manufacturer's instructions.

Lighting for wall mounted individual letters can either be internally illuminated (face lit), halo illuminated, external/indirect or a combination thereof.

Internal illumination shall use LED unless the design incorporates alternatives that are integral to the brand and signage design. The use of neon required Landlord approval.

Indirect illumination is allowed to be used and mixed with other lighting techniques.

All transformers, switches and other electrical equipment shall be remote and concealed within the Tenant space.